

**NOTIFICATION OF ADDENDUM
ADDENDUM NO. TWO
DATED: June 22, 2021**

PR South, Inc. on behalf of Northwest Williamson County Municipal Utility District No. 2

**Parmer Ranch, Phases 2, 3, & 4 Drainage, Paving, Wastewater and Water System
Improvements
City of Georgetown Williamson County, Texas**

NOTICE TO ALL BIDDERS:

This Addendum is issued to correct/clarify/modify the CONTRACT DOCUMENTS and SPECIFICATIONS and to provide additional information to the Bidder for the above referenced project as follows:

Plan Revisions:

- Sheets 9, 21, 39, 46, 50, 54 and 56 were Revised with the Addendum #2.
- Added SEC Planning Fencing Plan, Hardscape Details and Sleeving Plan.

Contract Documents and Specification Revisions:

- The following sections were updated in Addendum #2:

Section	Title
00300	Bid Form

Questions/Clarifications:

1. What are the liquidated damages on this project?
The liquidated damages for the project are location in the Contract Documents and Specifications, Section 520 Agreement Between the Owner and Contractor, Article 4 -Contract Times 4.03 Liquidated Damages.
2. What is the substantial completion?
This can be found in the Contract Documents and Specifications, Section 520 Agreement Between the Owner and Contractor, Article 4 -Contract Times 4.02 Contract Times and was updated as part of Addendum One.
3. Who will be in charge of final pins?
The developer will have the final pins installed by the surveyor around the time of substantial completion of the project.

4. Could verify the pipe sizes required for Waterlines H & I? There is a conflicting call out so I just wanted to double check that I am quoting correctly.
Line H is eight-inch and Line I is 12-inch. We have added additional callouts to Sheet 50 included with this Addendum for clarification.
5. For the boundary wall, there is no spacing shown for the masonry columns. Can Steger Bizzell provide the spacing or give us the number of columns?
The Fencing Plan prepared for the project by SEC Planning has been included with the Addendum, which shows the locations of all walls and columns within these phases. The bid form has been updated to include an item for the columns and length of wall has been updated to include all wall and not just the walls required for regulatory approval of the plans. A bid item for wood fence has also been added. The columns, walls and wood fence shall be as shown and specified on the SEC Planning Fencing Plan and Details dated 6/18/2021 and included with the Addendum.
6. I'm not sure I'm understanding the ribbon curb quantity on the bid form and the plans aren't very clear either. Could we get a little more information on the ribbon curb limits?
The ribbon curb is along the southside of Ranch House Blvd and also at the return radius on the north side. Additional labels have been added to Sheet 21.
7. There also isn't a bid item for the standard curb and gutter that's called out at the Ranch House Blvd islands
A bid item has been added for the six-inch curb of the Ranch House Blvd medians.
8. The new bid date says "Wednesday, June 29, 2021 @ 3:00 p.m." but the 29th is a Tuesday? The Prebid notes say that this job bids on 6/29/2021, but Invitation to bids say 6/23/2021. Is the Invitation to bid, correct?
The bid opening was changed with Addendum One to Tuesday June 29, 2021 at 3:00 p.m.
9. There is a bid item for Excavate existing material. What is this referring to?
Excavation of material within the project limits of Phases 2-4 with Embankment representing furnishing and placing of fill within the project limits.
10. There is no bid item for 6" HDPE
A bid item has been added.
11. No bid item for 12" NDS tree well drain
Bid Items D3 has been updated.
12. No bid item for valley gutters
A bid item has been added.

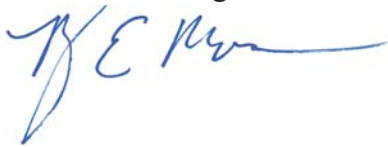
13. Looks like there is a gas line. I do not see it called out on your plans nor do I see it on the profile. Am I missing it? If it is not shown can you please show it.
The existing eight-inch gas line on the north side of the Ronald Reagan Blvd right-of-way is shown on the Overall Wastewater Plan, Sheet 35 and Overall Water Plan, Sheet 50. We have added the approximate location to the Wastewater Profile on Sheet 39. Per record plans it should have approximately five-feet of cover from existing grade and is 14-15-feet offset from the north ROW line into the ROW.
14. When do you think you will respond to the questions?
Questions received prior to the issuance of Addendum Two are answered in Addendum Two. Any additional questions received will be answered with Addendum Three following the deadline for questions if necessary.
15. What sheet are the sleeves shown on.
The irrigation sleeves shall be 50' long and installed at the locations shown on the Sleeving Plan prepared by SEC Planning and included as part of this addendum. A bid item has also been added for the eight-inch sleeves.
16. Can we get the excel version of the bid form with Addendum 1 included?
The bid form excel did not change with Addendum One. A new excel bid form has been added to the bid website to reflect the changes made as part of Addendum Two.
17. In two separate instances, a double short service appears to serve 2 lots that already have services. Essentially, 4 lots are double serviced (Lots 2 & 16 in Block C, and Lots 15 & 18 in Block A). Are these services off WATR-A intended for something else?
There are 10' wide landscape lots between the ROW and residential lots at these locations and the services are for the ability to provide irrigation meters at these locations if desired to the developer/future owner.
18. Are the following double services intended to service one lot plus one irrigation service (Lots 1 & 2 in Block F, and Lots 48 & 49 in Block B)?
Similar situation at these locations with the double service for irrigation to the 10' wide landscape lot and the other to the residential lot.
19. If the above is the case, would there be 4 services total intended for irrigation? This would include the above two as well as 2 single services along WATR-A (One around STA 0+50 & another at around 9+50).
There should be 8 services for irrigation based on the locations of the double and singles for irrigation. The single from Water A has been moved up Ranch House Blvd to Line H as part of the Addendum.

20. There's a possible Gate Valve discrepancy on bid form F6 and F7. Bid form calls for 9 – 8" G.V. and 18 – 12" G.V., however, there were 12 – 8" G.V. and 16 – 12" G.V. called out on the Overall Water Plan (pg 50). Please confirm count.
We count 15 eight-inch and 15 12-inch following the plan updates in response to Addendum Two.
21. Concrete trench cap (214 LF) not called out on bid form.
Bid item added.
22. Bid form shows headwall line items as "SD19 Concrete Rip-Rap" and "SD19 Concrete Rip Rap and Energy Dissipators". In total, there are 5 headwalls on bid form but 6 in the plans (2 of these are for triple run of 48", 1 for 36", 1 for 24" RCP, and 2 for 24" HDPE). Also, we are going to get some skewed unit prices bidding various size headwalls together if any change orders or alterations happen on the project.
Bid Items D1 and D2 have been updated for the triple headwalls and Items D19 and D20 have been added for the respective 36 and 24-inch headwalls.
23. There is a single head street light quantity discrepancy with the bid form (Item No. H4) calling for 16 but the plan set calling for 17. Please advise.
The bid form has been updated to 17.
24. Are mail kiosks in our line of scope? There seem to be 2 called out on page 56 of the plan set but not noted in the bid form or anywhere else in the plan set.
Mail kiosks and pads are not a part of the scope of this project and will be included as part of the landscape package.
25. There is an SCE quantity discrepancy with the bid form (Item No. A2) calling for 3 but the plan set calling for 4. Please advise.
The bid form quantity has been updated to five to account for the oversized entry at Ronald Reagan Blvd and cover the remaining locations shown in the plans.
26. A large amount of your proposed street contours are not tying into existing. Can you clarify this discrepancy?
The grading plan has been updated and included with this addendum. CAD will also be send to all bidders who have returned CAD releases to our office as required.
27. Page 45 lists specs for pond liner and then a geomembrane liner. We see no cross section or notes that clarifies if these will be needed and if so to what elevation.
A note calling out the clay or geomembrane liner on the pond section on Sheet 46 has been added with it needed to be installed up to elevation 945.5.

28. The lump sum bid item on the pond mention “erosion control blanket” but we find no call outs for matting or any notes clarifying what percent slopes would require it. **Erosion Control Blanket has been removed from the bid item description. All areas in and around the pond and its slopes disturbed as part of the pond construction shall be revegetated as required in the City and County specifications.**

You are required to acknowledge receipt of this addendum by entering the date, which appears at the top of this letter on the addendum acknowledgement portion of your BID FORM.

Failure to acknowledge receipt of this or any other addendum in your BID FORM will result in your bid not being read.

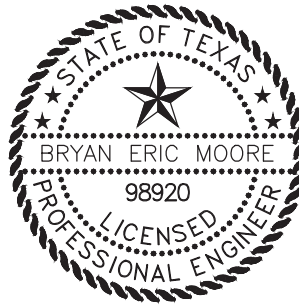


Bryan E. Moore, P.E.
Steger Bizzell, Georgetown, TX
F-181

06/22/2021

Date

Attachments



Addendum #2

SECTION #00300

BID FORM

PROJECT IDENTIFICATION:

PR South, Inc.
on behalf of
Northwest Williamson County Municipal Utility District No. 2

Parmer Ranch, Phases 2, 3, & 4
Drainage, Paving, Wastewater
and Water System Improvements
City of Georgetown
Williamson County, Texas

THIS BID IS SUBMITTED TO:

Steger Bizzell
1978 South Austin Avenue
Georgetown, Texas 78626

- 1.01 The undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into an Agreement with OWNER in the form included in the Bidding Documents to perform all Work as specified or indicated in the Bidding Documents for the prices and within the times indicated in this Bid and in accordance with the other terms and conditions of the Bidding Documents.
- 1.02 BIDDER understands and agrees that the OWNER has the right to reject any or all Bids and to waive any minor technicalities.
- 2.01 Bidder accepts all of the terms and conditions of the Advertisement or Invitation to Bid and Instructions to Bidders, including without limitation those dealing with the disposition of Bid security. The Bid will remain subject to acceptance for 90 days after the Bid opening, or for such longer period of time that Bidder may agree to in writing upon request of OWNER.
- 3.01 In submitting this Bid, Bidder represents, as set forth in the Agreement, that:
 - A. Bidder has examined and carefully studied the Bidding Documents, the other related data identified in the Bidding Documents, and the following Addenda, receipt of all which is hereby acknowledged.

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Addendum Date

- B. Bidder has visited the Site and become familiar with and is satisfied as to the general, local and Site conditions that may affect cost, progress, and performance of the Work.
- C. Bidder is familiar with and is satisfied as to all federal, state and local laws and regulations that may affect cost, progress and performance of the Work.
- D. Bidder has carefully studied all: (1) reports of explorations and tests of subsurface conditions at or contiguous to the Site and all drawings of physical conditions in or relating to existing surface or subsurface structures at or contiguous to the Site which have been identified in the Supplementary Conditions as provided in paragraph 4.02 of the General Conditions.
- E. Bidder has obtained and carefully studied (or assumes responsibility for having done so) all additional or supplementary examinations, investigations, explorations, tests, studies and data concerning conditions (surface, subsurface and Underground Facilities) at or contiguous to the Site which may affect cost, progress, or performance of the Work or which relate to any aspect of the means, methods, techniques, sequences, and procedures of construction to be employed by Bidder, including applying the specific means, methods, techniques, sequences, and procedures of construction expressly required by the Bidding Documents to be employed by Bidder, and safety precautions and programs incident thereto.
- F. Bidder does not consider that any further examinations, investigations, explorations, tests, studies, or data are necessary for the determination of this Bid for performance of the Work at the price(s) bid and within the times and in accordance with the other terms and conditions of the Bidding Documents.
- G. Bidder is aware of the general nature of work to be performed by OWNER and others at the Site that relates to the Work as indicated in the Bidding Documents.

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- H. Bidder has correlated the information known to Bidder, information and observations obtained from visits to the Site, reports and drawings identified in the Bidding Documents, and all additional examinations, investigations, explorations, tests, studies, and data with the Bidding Documents.
- I. Bidder has given ENGINEER written notice of all conflicts, errors, ambiguities, or discrepancies that Bidder has discovered in the Bidding Documents, and the written resolution thereof by ENGINEER is acceptable to Bidder.
- J. The Bidding Documents are generally sufficient to indicate and convey understanding of all terms and conditions for the performance of the Work for which this Bid is submitted.

4.01 Bidder further represents that this Bid is genuine and not made in the interest of or on behalf of any undisclosed individual or entity and is not submitted in conformity with any agreement or rules of any group, association, organization or corporation; Bidder has not directly or indirectly induced or solicited any other Bidder to submit a false or sham Bid; Bidder has not solicited or induced any individual or entity to refrain from bidding; and Bidder has not sought by collusion to obtain for itself any advantage over any other Bidder or over OWNER.

5.01 Bidder will complete the Work in accordance with the Contract Documents for the following price(s):

BID:

NORTHWEST WILLIAMSON COUNTY M.U.D. NO.2 PARMER RANCH PHASES 2, 3, & 4 BID SET 6/22/2021					
<i>Item No.</i>	<i>Description of Item</i>	<i>Approx. Qty</i>	<i>Unit</i>	<i>Unit Price</i>	<i>Total</i>
A. EROSION AND SEDIMENTATION CONTROL					
A1	Furnish & Install & Remove Silt Fence, complete as detailed and specified	9,558	LF		
A2	Furnish & Install & Remove Stabilized Construction Entrance, complete as detailed and specified	5	EA		

Addendum #2

NORTHWEST WILLIAMSON COUNTY M.U.D. NO.2 PARMER RANCH PHASES 2, 3, & 4 BID SET 6/22/2021					
<i>Item No.</i>	<i>Description of Item</i>	<i>Approx. Qty</i>	<i>Unit</i>	<i>Unit Price</i>	<i>Total</i>
A3	Furnish & Install & Remove 10' Curb Inlet Protection, complete as detailed and specified	44	EA		
A4	Furnish & Install & Remove Tree Protection Fence, complete as detailed and specified	1,564	LF		
A5	Furnish & Install & Remove Tree Protection Planks, complete as detailed and specified	1,564	LF		
A6	Clearing and Grubbing, complete in place as detailed and specified	38.65	AC		
A7	Furnish, Install, Maintain & Remove Concrete Washout Basin, complete as detailed and specified	1.00	LS		
EROSION AND SEDIMENTATION CONTROL SUBTOTAL					
B. EXCAVATION AND EMBANKMENT					
B1	Furnish & Install 6" Sandy Loam Topsoil within ROW, complete as detailed and specified	13,724	SY		
B2	Furnish & Install 4" Sandy Loam in Storm Outfall Channels and Berms	3,595	SY		
B3	Furnish & Install 6" of Re-vegetation, complete as detailed and specified	17,319	SY		
B4	3" Right-of-Way Stripping, complete in place as detailed and specified	34,566	SY		
B5	Excavate material within project limits, as detailed and		CY		

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<i>Item No.</i>	<i>Description of Item</i>	<i>Approx. Qty</i>	<i>Unit</i>	<i>Unit Price</i>	<i>Total</i>
	specified				
B6	Furnish and Install 8" of Lime for all Roads, complete as detailed and specified (As Required)	22,943	SY		
B7	Furnish & Place Embankment within project limits, complete in place as detailed and specified		CY		
B8	Subgrade Preparation, complete in place as detailed and specified	22,943	SY		
EXCAVATION AND EMBANKMENT SUBTOTAL					
C. PAVEMENT AND SUBGRADE					
C1	Furnish & Install 8" Compacted Flex Base, complete in place as detailed and specified	18,081	SY		
C2	Furnish & Install 11" Compacted Flex Base, complete in place as detailed and specified	2,810	SY		
C3	Furnish & Install Curb Backfill, complete in place as detailed and specified	12,310	LF		
C4	Furnish & Install 2" HMAC Type C Asphalt, complete in place as detailed and specified	20,891	SY		
C5	Furnish & Install 4" Mountable Curb and Gutter, complete in place as detailed and specified	10,802	LF		
C6	Furnish & Install Ribbon Curb, complete in place as detailed and specified	558	LF		

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<i>Item No.</i>	<i>Description of Item</i>	<i>Approx. Qty</i>	<i>Unit</i>	<i>Unit Price</i>	<i>Total</i>
C7	Furnish & Install Curb Expansion Joints at 40' O.C., complete in place as detailed and specified	316	EA		
C8	Furnish & Install (2) - #4 Rebars in All Curb, complete in place as detailed and specified	12,891	LF		
C9	Furnish & Install Curb Ramp, complete in place as detailed and specified	32	EA		
C10	Furnish & Install 4"-5' wide Sidewalk, complete in place as detailed and specified	2,580	SY		
C11	Furnish & Install 6" Curb and Gutter, complete in place as detailed and specified	937	LF		
C12	Furnish & Install Concrete Valley Gutter, complete in place as detailed and specified	3	EA		
PAVEMENT AND SUBGRADE SUBTOTAL					
D. DRAINAGE IMPROVEMENTS					
D1	Furnish & Install Triple 48" SD19 Concrete Rip-Rap Headwall, complete in place as detailed and specified	1	EA		
D2	Furnish & Install Triple 48" SD19 Concrete Rip-Rap Headwall and Energy Dissipaters, complete in place as detailed and specified	1	EA		

Addendum #2

NORTHWEST WILLIAMSON COUNTY M.U.D. NO.2 PARMER RANCH PHASES 2, 3, & 4 BID SET 6/22/2021					
<i>Item No.</i>	<i>Description of Item</i>	<i>Approx. Qty</i>	<i>Unit</i>	<i>Unit Price</i>	<i>Total</i>
D3	Furnish & Install 12"x12 NDS Grate Inlet for Tree Well Drain (all depths), complete in place as detailed and specified	1	EA		
D4	Furnish & Install 24" HDPE PIPE (all depths), complete in place as detailed and specified	715	LF		
D5	Furnish & Install 18" CLASS III RCP (all depths), complete in place as detailed and specified	2,051	LF		
D6	Furnish & Install 24" CLASS III RCP (all depths), complete in place as detailed and specified	1,017	LF		
D7	Furnish & Install 30" CLASS III RCP (all depths), complete in place as detailed and specified	851	LF		
D8	Furnish & Install 36" CLASS III RCP (all depths), complete in place as detailed and specified	449	LF		
D9	Furnish & Install 42" CLASS III RCP (all depths), complete in place as detailed and specified	335	LF		
D10	Furnish & Install 48" CLASS III RCP (all depths), complete in place as detailed and specified	812	LF		
D11	Furnish & Install & Remove Trench Safety for Stormwater	6,230	LF		
D12	Furnish & Install 4' Diameter Stormwater Manhole (all depths), complete in place as	1	EA		

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<i>Item No.</i>	<i>Description of Item</i>	<i>Approx. Qty</i>	<i>Unit</i>	<i>Unit Price</i>	<i>Total</i>
	detailed and specified				
D13	Furnish & Install 5' Diameter Stormwater Manhole (all depths), complete in place as detailed and specified	3	EA		
D14	Furnish & Install 4'x4' Junction Box with Stormwater Manhole (all depths), complete in place as detailed and specified	3	EA		
D15	Furnish & Install 5'x5' Junction Box with Stormwater Manhole (all depths), complete in place as detailed and specified	3	EA		
D16	Furnish & Install 6'x6' Junction Box with Stormwater Manhole (all depths), complete in place as detailed and specified	1	EA		
D17	Furnish & Install 10' Curb Inlet (all depths), complete in place as detailed and specified	44	EA		
D18	Furnish & Install 6" HDPE Tree Well Drain Pipe (all depths), complete in place as detailed and specified	149	LF		

Addendum #2

NORTHWEST WILLIAMSON COUNTY M.U.D. NO.2 PARMER RANCH PHASES 2, 3, & 4 BID SET 6/22/2021					
<i>Item No.</i>	<i>Description of Item</i>	<i>Approx. Qty</i>	<i>Unit</i>	<i>Unit Price</i>	<i>Total</i>
D19	Furnish & Install 24" SD19 Concrete Rip-Rap Headwall, complete in place as detailed and specified	3	EA		
D20	Furnish & Install 36" SD19 Concrete Rip-Rap Headwall and Energy Dissipaters, complete in place as detailed and specified	1	EA		
DRAINAGE IMPROVEMENTS SUBTOTAL					
E. WATER QUALITY POND IMPROVEMENTS					
E1	Batch Detention Pond (Including Trash Rack / Riser Pipe, Manhole and Actuator Valve, Control Release System, Drain Pipes with Outfall Structure and Splash Pad, Concrete Weir Structures, Rip Rap, 6" Topsoil, Revegetation, Signage, and all other appurtenances) - complete in place as detailed and specified	1	LS		
WATER QUALITY POND IMPROVEMENTS SUBTOTAL					
F. WATER IMPROVEMENTS					
F1	Furnish & Install 8" C900 PVC DR-18 Water Line including pipe, fittings, restraints, and all other appurtenances (all depths), complete in place as detailed and specified	3,956	LF		

Addendum #2

NORTHWEST WILLIAMSON COUNTY M.U.D. NO.2 PARMER RANCH PHASES 2, 3, & 4 BID SET 6/22/2021					
<i>Item No.</i>	<i>Description of Item</i>	<i>Approx. Qty</i>	<i>Unit</i>	<i>Unit Price</i>	<i>Total</i>
F2	Furnish & Install 12" C900 PVC DR-18 Water Line including pipe, fittings, restraints, and all other appurtenances (all depths), complete in place as detailed and specified	2,262	LF		
F3	Furnish & Install 24" Steel Encasement - Direct Burial for Water Line, and all other appurtenances (all depths), complete in place as detailed and specified	120	LF		
F4	Furnish & Install 24" Steel Encasement - Jack and Bore for Water Line and all other appurtenances (all depths), complete in place as detailed and specified	107	LF		
F5	Furnish & Install 4" SCH 40 PVC Irrigation Sleeves, complete in place as detailed and specified	900	LF		
F6	Furnish & Install 8" Gate Valve and Box, complete in place as detailed and specified	15	EA		
F7	Furnish & Install 12" Gate Valve and Box, complete in place as detailed and specified	15	EA		
F8	Furnish & Install 2" Air Release Valve Assembly and Manhole per COG Standard Details W12 and W13, complete in place as detailed and specified	1	EA		

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<i>Item No.</i>	<i>Description of Item</i>	<i>Approx. Qty</i>	<i>Unit</i>	<i>Unit Price</i>	<i>Total</i>
F9	Furnish & Install Fire Hydrant Assembly with 6" Gate Valve, complete in place as detailed and specified	11	EA		
F10	Furnish & Install & Remove Trench Safety for Water/Irrigation	9,945	LF		
F11	Furnish Trench Safety Design for Water/ Irrigation	1	LS		
F12	Connect to Existing Water Line	3	EA		
F13	Furnish and Install cap for future connection	1	EA		
F14	Furnish and Install 12" full circle tapping sleeve and 12" gate valve (existing 12" water service)	1	EA		
F15	Furnish and Install 8" full circle tapping sleeve and 8" gate valve (existing 24" water service)	1	EA		
F16	Furnish and Install Double Water Service connection per detail, complete in place as detailed and specified	69	EA		
F17	Furnish and Install Single Water Service connection per detail, complete in place as detailed and specified	14	EA		
F18	Furnish & Install 8" SCH 40 PVC Irrigation Sleeves, complete in place as detailed and specified	200	LF		
WATER IMPROVEMENTS SUBTOTAL					
G. WASTEWATER IMPROVEMENTS					

Addendum #2

NORTHWEST WILLIAMSON COUNTY M.U.D. NO.2 PARMER RANCH PHASES 2, 3, & 4 BID SET 6/22/2021					
<i>Item No.</i>	<i>Description of Item</i>	<i>Approx. Qty</i>	<i>Unit</i>	<i>Unit Price</i>	<i>Total</i>
G1	Furnish & Install 8" SDR-26 PVC 8'-10', complete in place as detailed and specified	1,827	LF		
G2	Furnish & Install 8" SDR-26 PVC 10'-12', complete in place as detailed and specified	645	LF		
G3	Furnish & Install 8" DR-18 PVC 8'-10', complete in place as detailed and specified	60	LF		
G4	Furnish & Install 8" DR-18 PVC 10'-12', complete in place as detailed and specified	20	LF		
G5	Furnish & Install 12" SDR-26 PVC 8'-10', complete in place as detailed and specified	254	LF		
G6	Furnish & Install 12" SDR-26 PVC 10'-12', complete in place as detailed and specified	634	LF		
G7	Furnish & Install 12" SDR-26 PVC 12'-14', complete in place as detailed and specified	501	LF		
G8	Furnish & Install 12" SDR-26 PVC 14'-16', complete in place as detailed and specified	142	LF		
G9	Furnish & Install 12" SDR-26 PVC 16'-20', complete in place as detailed and specified	400	LF		
G10	Furnish & Install 12" SDR-26 PVC 20'-24', complete in place as detailed and specified	953	LF		

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<i>Item No.</i>	<i>Description of Item</i>	<i>Approx. Qty</i>	<i>Unit</i>	<i>Unit Price</i>	<i>Total</i>
G11	Furnish & Install 12" DR-18 PVC 8'-10', complete in place as detailed and specified	20	LF		
G12	Furnish & Install 12" DR-18 PVC 10'-12', complete in place as detailed and specified	634	LF		
G13	Furnish & Install 12" DR-18 PVC 16'-20', complete in place as detailed and specified	400	LF		
G14	Furnish & Install 24" Steel Encasement - Direct Burial 7'-10', complete in place as detailed and specified	134	LF		
G15	Furnish & Install 24" Steel Encasement - Jack and Bore 7'-10', complete in place as detailed and specified	107	LF		
G16	Furnish & Install 4' diameter wastewater manhole (0'-8' depths), complete in place as detailed and specified	34	EA		
G17	Furnish & Install 4' diameter wastewater manhole (extra depth), complete in place as detailed and specified	146	VF		
G18	Furnish & Install & Remove Trench Safety for Wastewater	6,765	LF		
G19	Furnish and Install Double Wastewater Service connection per detail, complete in place as detailed and specified	65	EA		
G20	Furnish and Install Single Wastewater Service connection per detail, complete in place as detailed	10	EA		

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NORTHWEST WILLIAMSON COUNTY M.U.D. NO.2 PARMER RANCH PHASES 2, 3, & 4 BID SET 6/22/2021					
<i>Item No.</i>	<i>Description of Item</i>	<i>Approx. Qty</i>	<i>Unit</i>	<i>Unit Price</i>	<i>Total</i>
	and specified				
G21	Connect to existing wastewater stub out	2	EA		
G22	Furnish and Install Concrete Trench Cap, complete in place as detailed and specified	214	LF		
WASTEWATER IMPROVEMENTS SUBTOTAL					
H. SIGNING, STRIPING, AND SITE IMPROVEMENTS					
H1	Furnish & Install Stop Sign and Street Name Signs, complete in place as detailed and specified	5	EA		
H2	Furnish & Install Stop Sign, No Outlet Sign, and Street Name Signs, complete in place as detailed and specified	3	EA		
H3	Furnish & Install 24" White Stop Bar, complete in place as detailed and specified	192	SF		
H4	Furnish & Install Single Head Street Lights and Foundations, complete in place as detailed and specified	17	EA		
H5	Furnish & Install Double Head Street Lights and Foundations, complete in place as detailed and specified	1	EA		
H6	Furnish & Install Boundary Wall, complete in place as detailed and specified	1,681	LF		

Addendum #2

NORTHWEST WILLIAMSON COUNTY M.U.D. NO.2 PARMER RANCH PHASES 2, 3, & 4 BID SET 6/22/2021					
<i>Item No.</i>	<i>Description of Item</i>	<i>Approx. Qty</i>	<i>Unit</i>	<i>Unit Price</i>	<i>Total</i>
H7	Furnish & Install Boundary Wall, complete in place as detailed and specified	20	EA		
H8	Furnish & Install Wood Fence, complete in place as detailed and specified	1,449	LF		
H9	Furnish & Install Speed Limit Sign, complete in place as detailed and specified	4	EA		
H10	Furnish & Install End of Road Barricade, complete in place as detailed and specified	1	EA		
H11	Furnish & Install Blue Reflectorized Buttons, complete in place as detailed and specified	11	EA		
H12	Furnish & Install & Maintain Traffic Control at Connection to Ronald Reagan Blvd.	1	LS		
H13	Furnish & Install Tree Wells, complete in place as detailed and specified	404	SF		
SIGNING, STRIPING, AND SITE IMPROVEMENTS SUBTOTAL					
G. MISCELLANEOUS					
G1	Mobility and Move-In Related Expenses, Bonds, and Insurance, not to exceed 5% of Total Bid	1	LS		
G2	Provide SWPPP Setup, Maintenance and Reporting	1	LS		
MISCELLANEOUS SUBTOTAL					
TOTAL					

Addendum #2

TOTAL (Bid)

\$ _____

(in Figures)

(in Words)

Addendum #2

Unit Prices have been computed in accordance with paragraph 11.03.B of the General Conditions. Bidder acknowledges that estimated quantities are not guaranteed, and are solely for the purpose of comparison of Bids, and final payment for all Unit Price Bid items will be based on actual quantities provided, determined as provided in the Contract Documents.

- 6.01 Bidder agrees that the Work will be substantially complete within 180 calendar days after the date of the written Notice-to-Proceed and to fully complete project and ready for final payment within 210 calendar days after the date of the written Notice to Proceed.
- 6.02 Bidder accepts the provisions of the Agreement as to liquidated damages in the event of failure to complete the Work within the times specified above, which shall be stated in the Supplemental Conditions.
- 6.03 The following documents are attached to and made a condition of this Bid:
- A. Required Bid security in the form of _____;
 - B. Section 00400, Statement of Bidder's Experience, including Attachments.
- 7.01 The terms used in this Bid with initial capital letters have the meanings indicated in the Instructions to Bidders, the General Conditions, and the Supplementary Conditions.

SUBMITTED on _____, 20____.

If Bidder is:

An Individual

Name (typed or printed): _____

By: _____ (SEAL)
(Individual's signature)

Doing business as: _____

Business address: _____

Phone No.: _____ FAX No.: _____

Addendum #2

A Partnership

Partnership Name: _____ (SEAL)

By: _____
(Signature of general partner -- attach evidence of authority to sign)

Name (typed or printed): _____

Business address: _____

Phone No.: _____ FAX No.: _____

A Corporation

Corporation Name: _____ (SEAL)

State of Incorporation: _____

Type (General Business, Professional, Service, Limited Liability): _____

By: _____
(Signature -- attach evidence of authority to sign)

Name (typed or printed): _____

Title: _____

(CORPORATE SEAL)

Attest _____
(Signature of Corporate Secretary)

Business address: _____

Phone No.: _____ FAX No.: _____

Date of Qualification to do business is _____.

Addendum #2

A Joint Venture

Joint Venturer Name: _____ (SEAL)

By: _____
(Signature of joint venture partner -- attach evidence of authority to sign)

Name (typed or printed): _____

Title: _____

Business address: _____

Phone No.: _____ FAX No.: _____

Joint Venturer Name: _____ (SEAL)

By: _____
(Signature -- attach evidence of authority to sign)

Name (typed or printed): _____

Title: _____

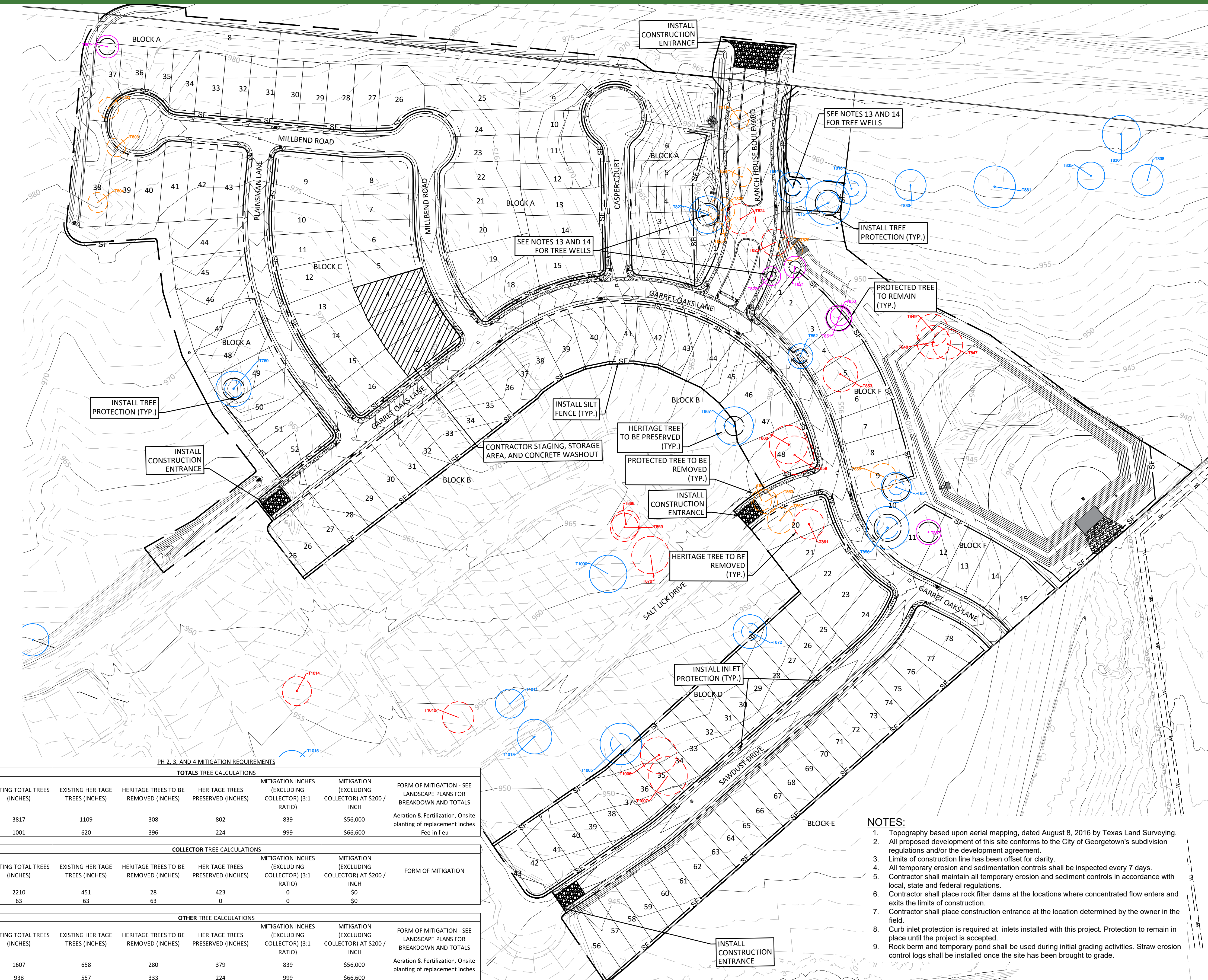
Business address: _____

Phone No.: _____ FAX No.: _____

Phone and FAX Number, and Address for receipt of official communications:

(Each joint venturer must sign. The manner of signing for each individual, partnership, and corporation that is a party to the joint venture should be in the manner indicated above.)

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LEGEND

- X### = HERITAGE TREE TO BE REMOVED
- X### = HERITAGE TREE TO REMAIN
- X### = PRESERVED/PROTECTED TREE ADD FENCE/PLANK PROTECTION PER DETAILS
- X### = PROTECTED TREE TO REMAIN (18" TO 26" HERITAGE CREDIT)
- SF = SILT FENCE
- = LIMITS OF CONSTRUCTION

HERITAGE TREE LIST		PROTECTED TREE LIST	
T759 34" LIVE OAK	*T853 49" LIVE OAK*	T801 22" LIVE OAK	T850 18" LIVE OAK
T814 30" LIVE OAK	T854 37" LIVE OAK	*T802 20" POST OAK*	T851 25" LIVE OAK
T815 54" LIVE OAK	*T856 54" LIVE OAK*	*T803 18" LIVE OAK*	*T855 25" LIVE OAK*
T816 30" LIVE OAK	*T859 37" LIVE OAK*	*T804 19" LIVE OAK*	*T857 24" LIVE OAK*
T823 26" LIVE OAK	*T860 48" LIVE OAK*	*T812 18" LIVE OAK*	*T862 25" LIVE OAK*
T824 26" LIVE OAK	*T861 29" LIVE OAK*	*T820 23" LIVE OAK*	*T863 23" LIVE OAK*
T827 36" LIVE OAK	T867 48" LIVE OAK	T821 21" LIVE OAK	*T864 20" LIVE OAK*
T847 29" LIVE OAK	T872 43" LIVE OAK	T822 18" LIVE OAK	
T848 32" LIVE OAK	T1005 40" LIVE OAK	*T825 18" LIVE OAK*	
T849 31" LIVE OAK	*T1006 35" LIVE OAK*	*T826 25" LIVE OAK*	
T852 34" LIVE OAK	*T1007 43" LIVE OAK*	*T828 19" LIVE OAK*	

- TREE PROTECTION NOTES:**
- Existing trees to remain shall be flagged by contractor prior to beginning any work on site.
 - Contractor shall place a minimum 4' height protective fencing 5' outside the edge of canopy of all trees to remain and as shown on the tree protection and removal plans.
 - All understory trees, undergrowth, shrubs, cacti and native grasses shall remain in areas protected by tree protection fence unless noted otherwise on the landscape plans.
 - Contractor shall maintain flagging and protective fencing around existing trees to remain at least until substantial completion.
 - Contractor shall ensure that no dumping of backfill, soil excavation, staking or storage of materials or dumping of any kind shall occur within the fenced area of the trees to remain.
 - Contractor shall ensure that no parking of any type of vehicle, equipment or construction trailer shall occur within the fenced area of trees to remain.
 - Contractor shall ensure that no driving of vehicles shall occur within the fenced area of trees to remain.
 - Contractor shall ensure that no grade changes shall occur within the canopy of the existing trees to remain.
 - Contractor shall keep fenced areas of trees to remain free of trash, debris or excessive runoff.
 - No trenching for utilities or irrigation shall occur within the dripline (canopy) of existing trees to remain.
 - For irrigation, any lateral line or mainline trenches which encroach in the dripline of existing trees shall be hand dug.
 - For utilities, any lines which cannot be altered to fall outside the canopy of existing trees shall be installed by boring a minimum of 24" below grade.
 - Tree wells shall be installed no closer than a tree's 1/2 Critical Root Zone (per UDC section 8.02.030.C) and shall include the full critical root zone when possible, and no disturbance shall occur within the 1/2 Critical Root Zone or tree will be considered removed and mitigation will be required (per UDC section 8.02.040.C).
 - See Grading Plan Sheet 54 for Tree Well Grading and Details.

PH 2, 3, AND 4 CREDIT TREES			
TOTALS TREE CALCULATIONS			
	CREDIT TREES (6"-11") (INCHES)	CREDIT TREES (12"-17") (INCHES)	CREDIT TREES (18"-25") (INCHES)
PHASE 1	0	128	1654
PHASES 2-4	0	0	381

COLLECTOR TREE CALCULATIONS			
	CREDIT TREES (6"-11") (INCHES)	CREDIT TREES (12"-17") (INCHES)	CREDIT TREES (18"-25") (INCHES)
PHASE 1	0	115	1218
PHASES 2-4	0	0	103

OTHER TREE CALCULATIONS			
	CREDIT TREES (6"-11") (INCHES)	CREDIT TREES (12"-17") (INCHES)	CREDIT TREES (18"-25") (INCHES)
PHASE 1	0	13	436
PHASES 2-4	0	0	278

PH 2, 3, AND 4 MITIGATION REQUIREMENTS

TOTALS TREE CALCULATIONS							
	EXISTING TOTAL TREES (INCHES)	EXISTING HERITAGE TREES (INCHES)	HERITAGE TREES TO BE REMOVED (INCHES)	HERITAGE TREES PRESERVED (INCHES)	MITIGATION INCHES (EXCLUDING COLLECTOR) (3:1 RATIO)	MITIGATION (EXCLUDING COLLECTOR) AT \$200 / INCH	FORM OF MITIGATION - SEE LANDSCAPE PLANS FOR BREAKDOWN AND TOTALS
PHASE 1	3817	1109	308	802	839	\$56,000	Aeration & Fertilization, Onsite planting of replacement inches
PHASES 2-4	1001	620	396	224	999	\$66,600	Fee in lieu

COLLECTOR TREE CALCULATIONS							
	EXISTING TOTAL TREES (INCHES)	EXISTING HERITAGE TREES (INCHES)	HERITAGE TREES TO BE REMOVED (INCHES)	HERITAGE TREES PRESERVED (INCHES)	MITIGATION INCHES (EXCLUDING COLLECTOR) (3:1 RATIO)	MITIGATION (EXCLUDING COLLECTOR) AT \$200 / INCH	FORM OF MITIGATION
PHASE 1	2210	451	28	423	0	\$0	
PHASES 2-4	63	63	63	0	0	\$0	

OTHER TREE CALCULATIONS							
	EXISTING TOTAL TREES (INCHES)	EXISTING HERITAGE TREES (INCHES)	HERITAGE TREES TO BE REMOVED (INCHES)	HERITAGE TREES PRESERVED (INCHES)	MITIGATION INCHES (EXCLUDING COLLECTOR) (3:1 RATIO)	MITIGATION (EXCLUDING COLLECTOR) AT \$200 / INCH	FORM OF MITIGATION - SEE LANDSCAPE PLANS FOR BREAKDOWN AND TOTALS
PHASE 1	1607	658	280	379	839	\$56,000	Aeration & Fertilization, Onsite planting of replacement inches
PHASES 2-4	938	557	333	224	999	\$66,600	

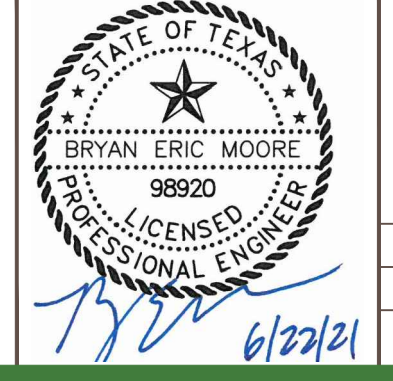
- NOTES:**
- Topography based upon aerial mapping, dated August 8, 2016 by Texas Land Surveying.
 - All proposed development of this site conforms to the City of Georgetown's subdivision regulations and/or the development agreement.
 - Limits of construction line has been offset for clarity.
 - All temporary erosion and sedimentation controls shall be inspected every 7 days.
 - Contractor shall maintain all temporary erosion and sediment controls in accordance with local, state and federal regulations.
 - Contractor shall place rock filter dams at the locations where concentrated flow enters and exits the limits of construction.
 - Contractor shall place construction entrance at the location determined by the owner in the field.
 - Curb inlet protection is required at inlets installed with this project. Protection to remain in place until the project is accepted.
 - Rock berm and temporary pond shall be used during initial grading activities. Straw erosion control logs shall be installed once the site has been brought to grade.

Parmer Ranch Tree Mitigation	
8/16/2021	
Required Tree Mitigation	
Heritage Trees Removed	11 Trees
Trees Inches Removed	333.0 in.
Mitigation Inches Required	999.0 in.
Mitigation Provided	
Aeration and Supplemental Nutrients Mitigation Option (66,600 x 30%) =	\$ 14,985.00
Remaining Mitigation Inches Required	699.3
On-Site Tree Planted inches	153
Remainder Fee-in-lieu (182.1) x 200	\$ 36,420.00

WARNING!
There are existing water pipelines, underground telephone cables and other above and below ground utilities in the vicinity of this project. The contractor shall contact all appropriate utility companies prior to any construction in the area and determine if any conflicts exist. If so, the Contractor shall immediately contact the Engineer, who shall revise the design as necessary.

NO.	REVISION	BY	DATE

DESIGNED BY:	DATE:
DRAWN BY:	DATE:
CHECKED BY:	DATE:
APPROVED BY:	DATE:



STEGER & BIZZELL

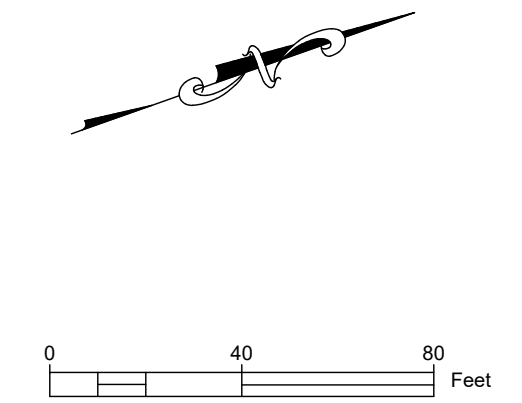
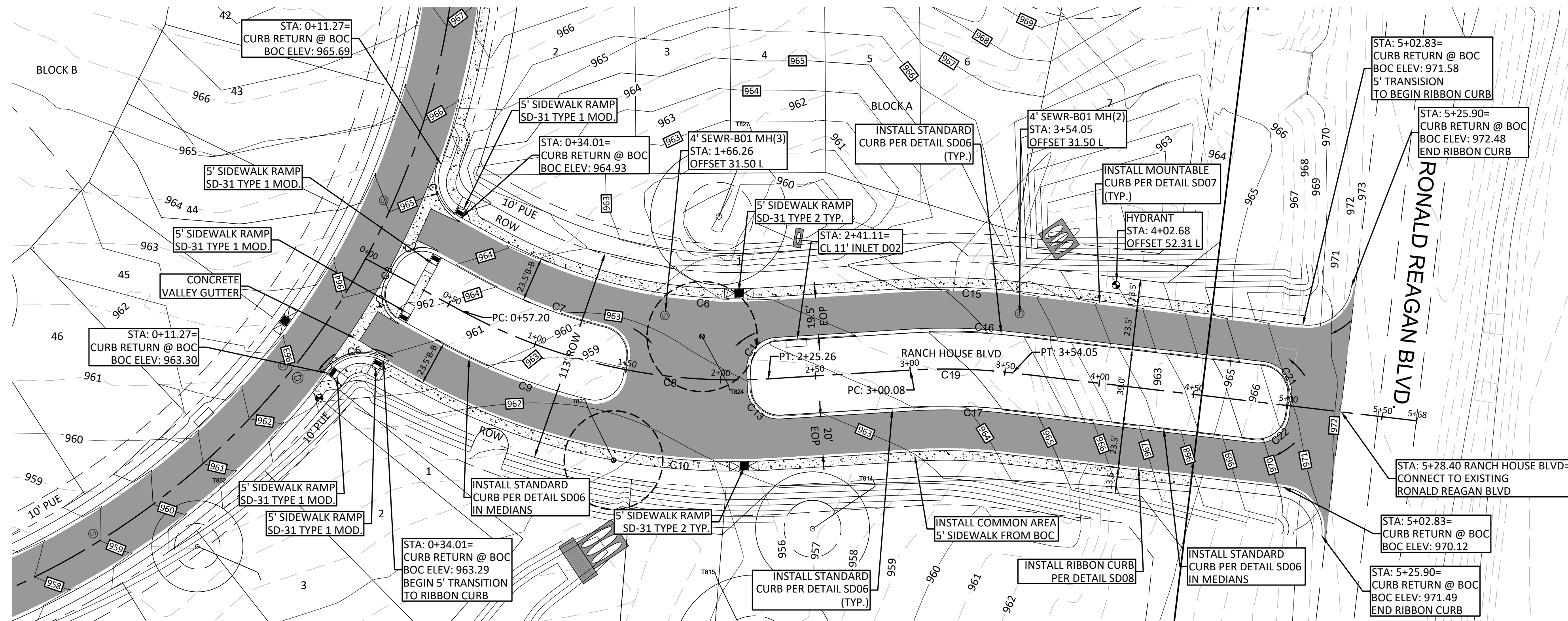
1978 S. AUSTIN AVENUE, GEORGETOWN, TX 78626
 512.930.9412, TEXAS REGISTERED ENGINEERING FIRM F-181, STEGERBIZZELL.COM
 SERVICES: >>ENGINEERS >>PLANNERS >>SURVEYORS

EROSION AND SEDIMENTATION CONTROL PLAN
PARMER RANCH PHASE 2, 3, & 4
 City of Georgetown
 Williamson County, Texas

Project Number:	22223/01
SCALE:	AS NOTED
Project Path:	P\22000-22999\22223
Project Name:	Parmer Ranch
Drawing Path:	Drawings\Plans
Xref DWG FILE:	
Sheet Number:	09 of 65 sheets

BID SET NOT FOR CONSTRUCTION - ADDENDUM TWO

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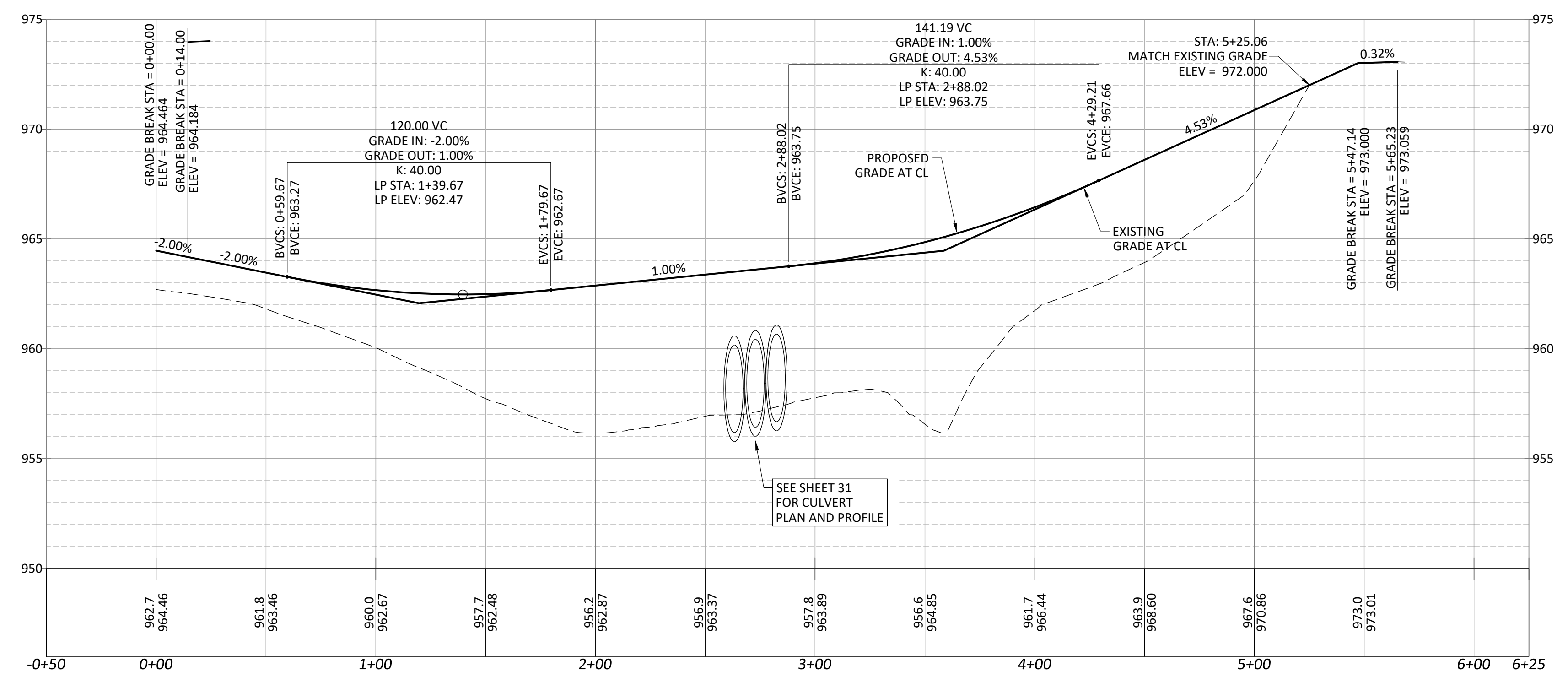
LEGEND

- ⊙ STORM MANHOLE
- ⊠ STORM JUNCTION BOX
- ⊙ WASTEWATER MANHOLE
- CURB INLET
- RIGHT-OF-WAY
- PROPOSED CENTERLINE
- EDGE OF PAVEMENT
- BACK OF CURB
- LIMIT OF CONSTRUCTION
- EDGE OF SIDEWALK
- EXISTING CONTOURS (MAJOR)
- EXISTING CONTOURS (MINOR)
- PROPOSED GRADE AT CENTERLINE
- EX. GROUND AT PROPOSED CENTERLINE

- NOTES:**
- UNLESS OTHERWISE MENTIONED, ALL STATIONING AND OFFSETS ARE BASED ON PROPOSED RANCHHOUSE BLVD. CENTERLINE.
 - RANCH HOUSE BLVD. IS A RESIDENTIAL COLLECTOR WITH A DESIGN SPEEDS OF 30 MPH.
 - SEE SHEETS 32 TO 34 FOR TYPICAL SECTION DETAILS AND FOR PAVING AND DRAINAGE DETAILS.
 - SEE SHEETS 58 TO 65 FOR INTERSECTION DETAILS.
 - SEE SHEET 57 FOR STRIPING AND SIGNAGE DETAILS.
 - SIDEWALKS ON HOME LOT FRONTS TO BE INSTALLED AT TIME OF HOME CONSTRUCTION. COMMON AREA SIDEWALKS AND RAMPS TO BE INSTALLED WITH STREET INFRASTRUCTURE.

RANCH HOUSE BLVD

SCALE
 1" = 40' HORIZONTAL
 1" = 4' VERTICAL



Curve Table				
Curve #	Radius	Arc Length	Chord Length	Chord Direction
C1	23.000	32.657	29.98	N87° 22' 37.32"E
C2	15.000	23.718	21.32	S01° 24' 05.98"W
C3	416.500	8.687	8.69	S43° 17' 58.57"E
C4	15.000	23.718	21.32	S88° 00' 03.01"E
C5	23.000	32.657	29.98	S06° 01' 25.54"W
C6	257.000	143.967	142.09	N30° 39' 08.27"E
C7	280.500	71.629	71.43	S39° 23' 05.39"W
C9	319.500	82.084	81.86	N39° 20' 25.29"E
C10	343.000	192.143	189.64	N30° 39' 08.27"E
C13	15.032	23.025	20.84	N60° 32' 30.24"E
C14	15.030	22.107	20.17	S29° 27' 29.76"E
C15	343.000	61.703	61.62	N19° 45' 27.71"E
C16	319.500	57.475	57.40	S19° 45' 27.71"W
C17	280.500	50.459	50.39	N19° 45' 27.71"E
C21	15.031	22.566	20.51	S69° 54' 39.53"W
C22	15.031	22.567	20.51	N20° 05' 20.47"W

Curve Table: Alignments				
Curve #	Radius	Arc Length	Chord Length	Chord Direction
C19	300.000	53.967	53.89	N19° 45' 27.71"E
C8	300.000	168.055	165.87	N30° 39' 08.27"E

WARNING!
 There are existing water pipelines, underground telephone cables and other above and below ground utilities in the vicinity of this project. The contractor shall contact all appropriate utility companies prior to any construction in the area and determine if any conflicts exist. If so, the Contractor shall immediately contact the Engineer, who shall revise the design as necessary.

NO.	REVISION	BY	DATE

DESIGNED BY:	DATE:
DRAWN BY:	DATE:
CHECKED BY:	DATE:
APPROVED BY:	DATE:



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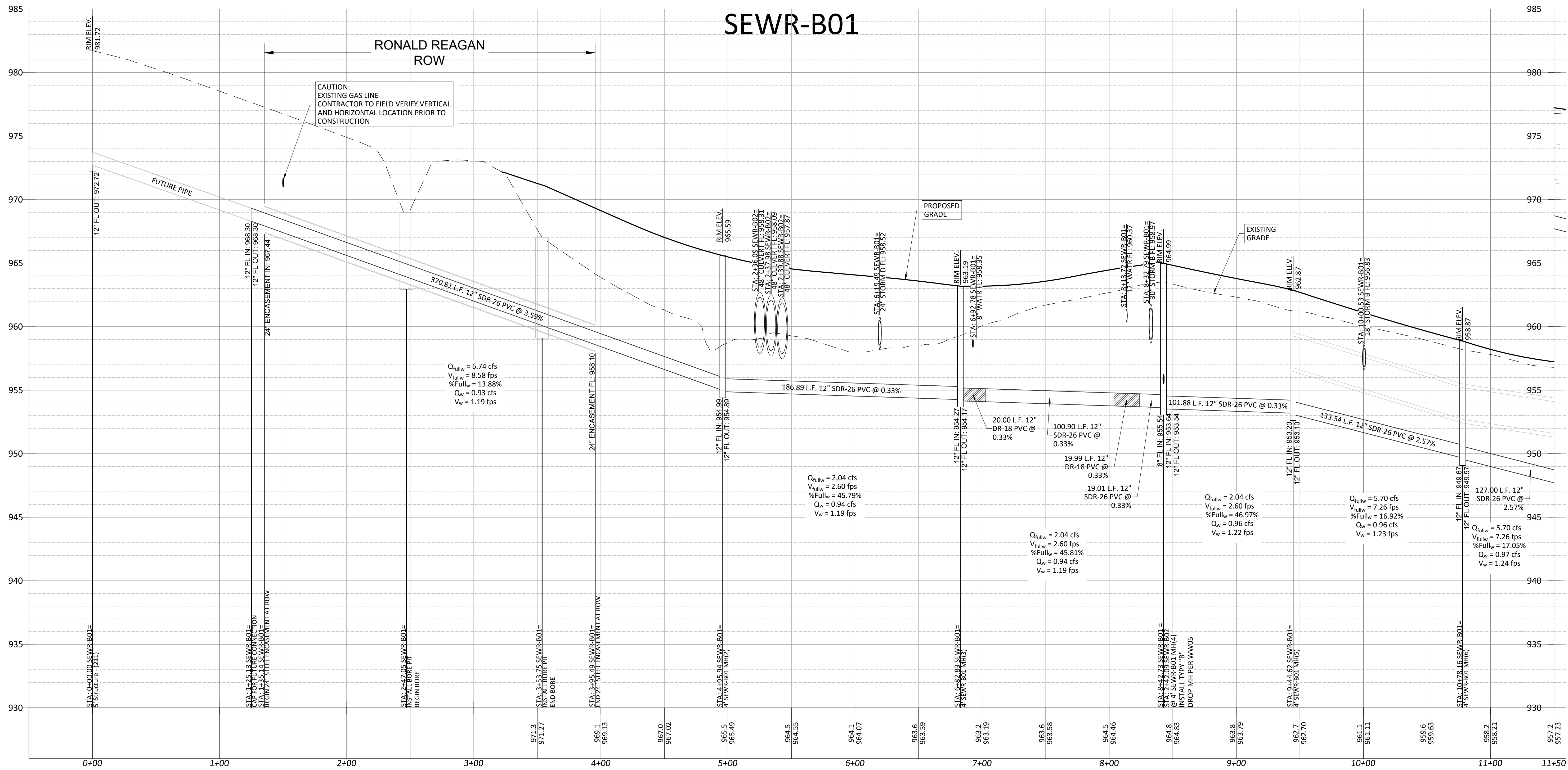
1978 S. AUSTIN AVENUE GEORGETOWN, TX 78626
 METRO: 512.930.9412 TEXAS REGISTERED ENGINEERING FIRM F-181 WEB: STEGERBIZZELL.COM
 SERVICES: >>ENGINEERS >>PLANNERS >>SURVEYORS

**RANCH HOUSE BLVD
 PARMER RANCH PHASE 2, 3, & 4
 City of Georgetown
 Williamson County, Texas**

Project Number:	22223/01
SCALE:	AS NOTED
Project Path:	P\22000-22999\22223
Project Name:	Parmer Ranch
Drawing Path:	Drawings\Plans
Xref DWG FILE:	
Sheet Number:	21 of 65 sheets

BID SET NOT FOR CONSTRUCTION - ADDENDUM TWO

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SCALE
 1" = 40' HORIZONTAL
 1" = 4' VERTICAL

- NOTES:**
- FOR TYPE "B" DROP MH DETAIL WW05 SEE SHEET 36.
 - WASTEWATER LINE CROSSING WATER LINE WITH LESS THAN NINE FEET OF SEPARATION SHALL HAVE A FULL JOINT OF C900 DR-18 (250 PSI) PVC PIPE CONFORMING TO ASTM D1784 MUST BE CENTERED ON THE WATERLINE. JOINTS MUST BE DESIGNED TO SEAL AT ATMOSPHERIC PRESSURE PER TAC 217.53(d)(7)(A)(iv) AND MEET ASTM D3139. SEE SHEET 44 FOR DETAIL.

WARNING!
 There are existing water pipelines, underground telephone cables and other above and below ground utilities in the vicinity of this project. The contractor shall contact all appropriate utility companies prior to any construction in the area and determine if any conflicts exist. If so, the Contractor shall immediately contact the Engineer, who shall revise the design as necessary.

NO.	REVISION	BY	DATE

DESIGNED BY: _____ DATE: _____

DRAWN BY: _____ DATE: _____

CHECKED BY: _____ DATE: _____

APPROVED BY: _____ DATE: _____



STEGER BIZZELL

ADDRESS: 1978 S. AUSTIN AVENUE, GEORGETOWN, TX 78626

METRO: 512.930.9412 SERVICES: >>ENGINEERS >>PLANNERS >>SURVEYORS

TEXAS REGISTERED ENGINEERING FIRM F-181 TBPLS FIRM No. 10003700

WEB: STEGERBIZZELL.COM

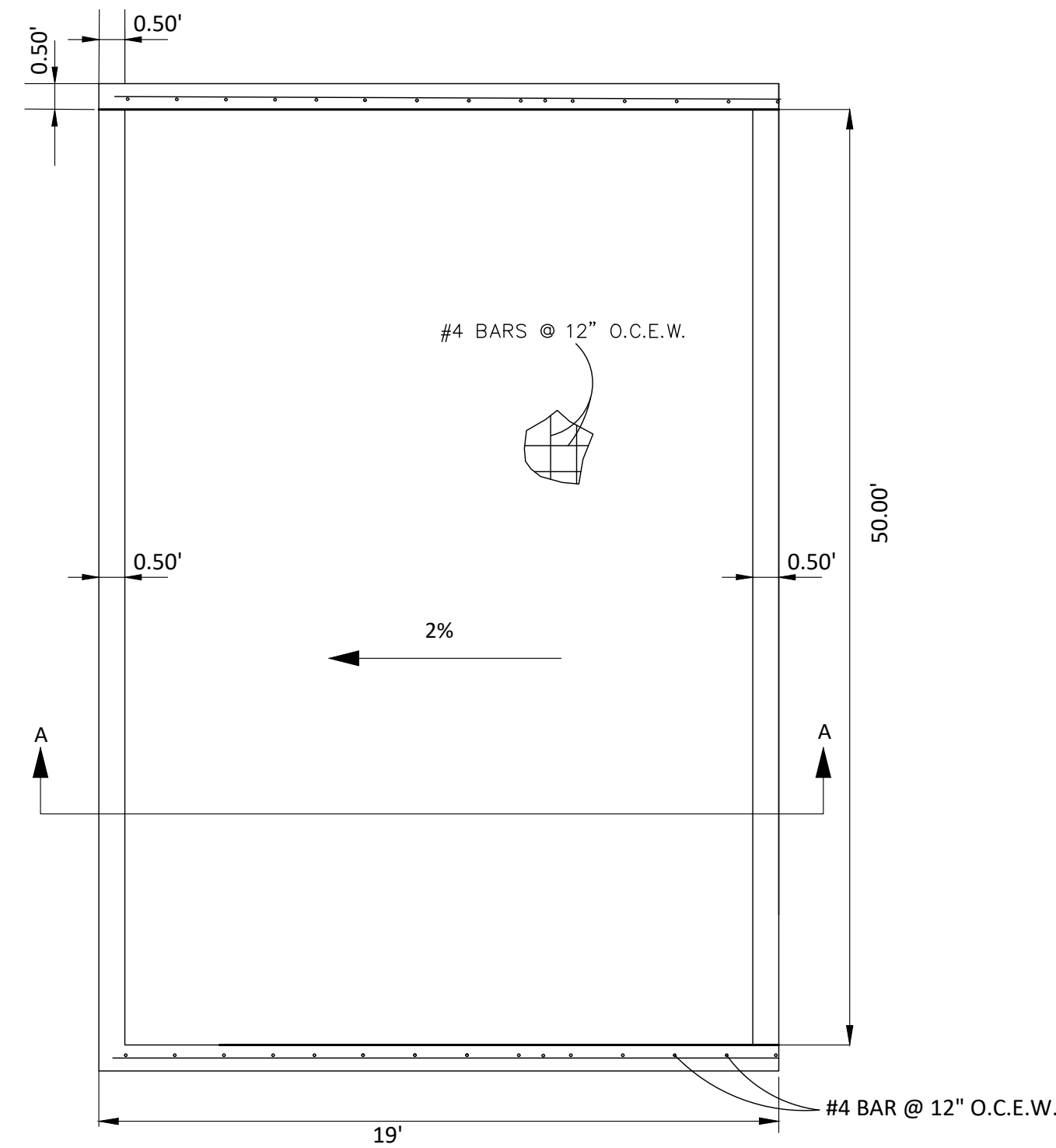
SEWR-B01 PROFILE (1 OF 3)
PARMER RANCH PHASE 2, 3, & 4
 City of Georgetown
 Williamson County, Texas

Project Number:	22223/01
SCALE:	AS NOTED
Project Path:	P\22000-22999\22223
Project Name:	Parmer Ranch
Drawing Path:	Drawings\Plans
Xref DWG FILE:	
Sheet Number:	39 of 65 sheets

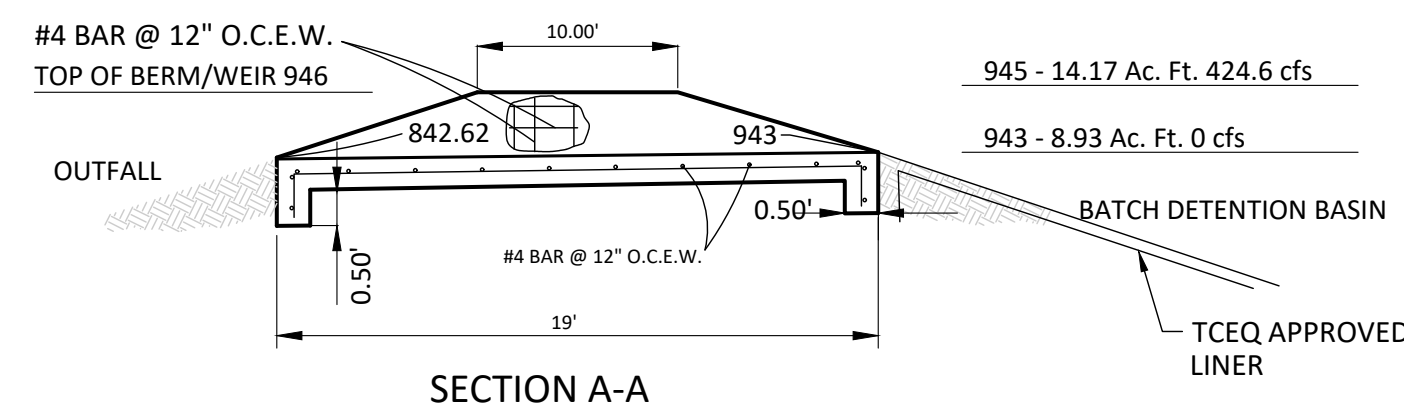
BID SET NOT FOR CONSTRUCTION - ADDENDUM TWO

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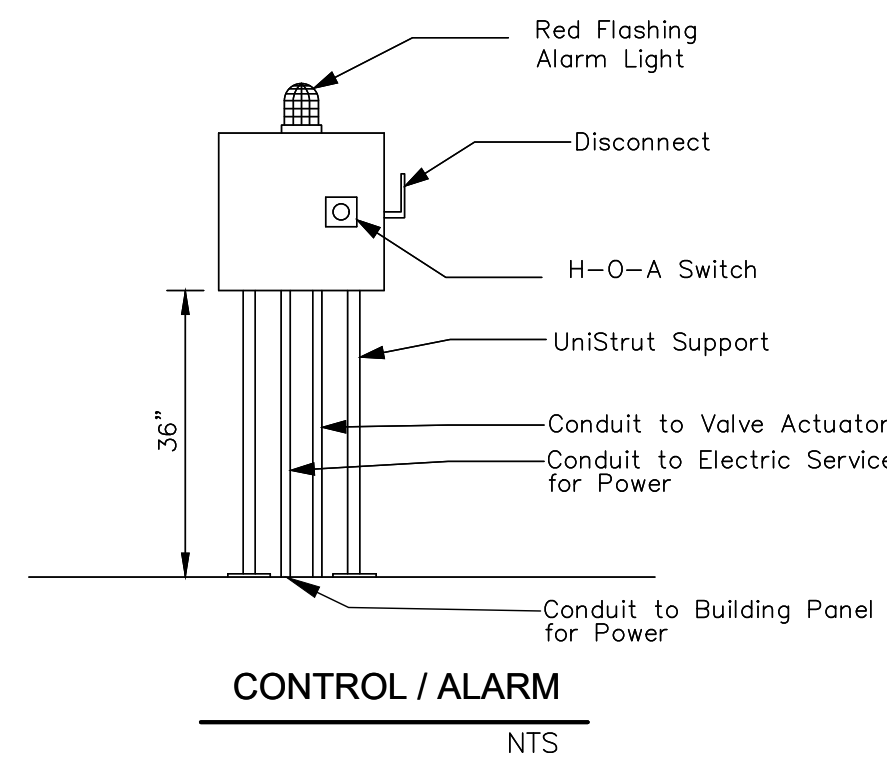
SPILLWAY STRUCTURE FOR BATCH DETENTION POND B



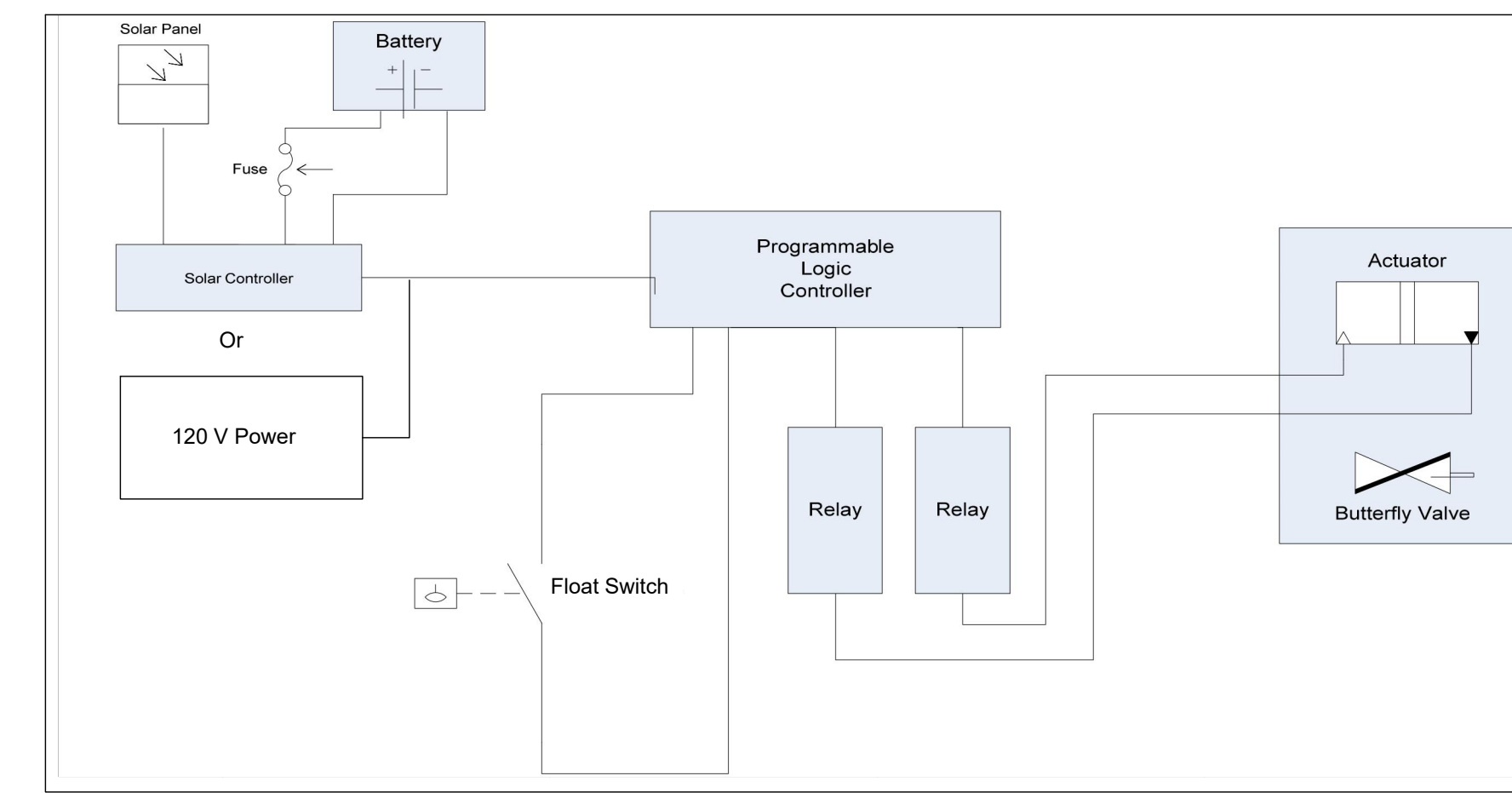
WQ A OUTFALL WEIR PLAN NOT TO SCALE



SECTION A-A



CONTROL / ALARM NTS



CONTROLLER CIRCUIT BOX DIAGRAM

BATCH POND CONTROLLER NOTES:

- Submittals** - The contractor shall provide the engineer with batch pond controller submittals for review and approval prior to construction. Submittals shall include: power source, battery backup, logic controller, lockable parts enclosure, float, valve, actuator, relay, alarm system, signage, etc. Total wattage of power consumption and w-hours of actuator, controller and relay shall be provided. A copy of the approved submittals shall be provided to TCEQ with the engineers certification of project completion for inclusion in the TCEQ project file.
- Controller** - The controller consists of a level sensor in the detention basin, a valve (with a default closed position), an actuator, and the associated control. The controller detects water filling the basin from the level sensor and initiates a 12-hour detention time. At the end of the required detention time, the controller opens the valve and drains into the second basin. Subsequent rainfall events that occur prior to the basin draining should cause the valve to remain open and allow the additional stormwater runoff to pass through the basin. Once the basin is drained the controller closes the valve. The drawdown time of the basin should not exceed 48 hours for a single storm event after the 12 hour required detention time. All cables should be protected by conduit and buried to prevent damage during maintenance activities. Information on the design and configuration of an existing system, including the system schematic, can be viewed at the Austin or San Antonio Regional Offices.
- Logic Controller** - The controller should be programmed to begin draining stormwater runoff from the basin 12 hours after the first stormwater runoff is sensed. The system should be programmed to have the valve remain open for two hours after the level sensor indicates the basin is empty to allow any remaining shallow water to be discharged. The system should provide the following: a test sequence, be able to deal with low battery/power outages, an on/off/reset switch, manual open/close switches (maintenance/spill), clearly visible external indicator to indicate a cycle is in progress without opening the box, and ability to exercise the valve to prevent seizing.
- Power** - The pond control system controller and actuator shall be 120 volt powdered or 120 volt solar powered with backup battery power to respond to a loss of power in the middle of a cycle.
- Parts Enclosure & Alarm System** - The parts enclosure shall be lockable. An alarm system clearly visible to indicate system malfunction, with phone numbers of the owner and TCEQ Region 11 office shall be provided.
- Temperature/Weather** - The system shall be capable of operation from 0 to 130 degrees Fahrenheit and from 10 to 90% humidity.
- Reliability** - The system shall have a minimum reliability of 40,000 hours (4.6 years).

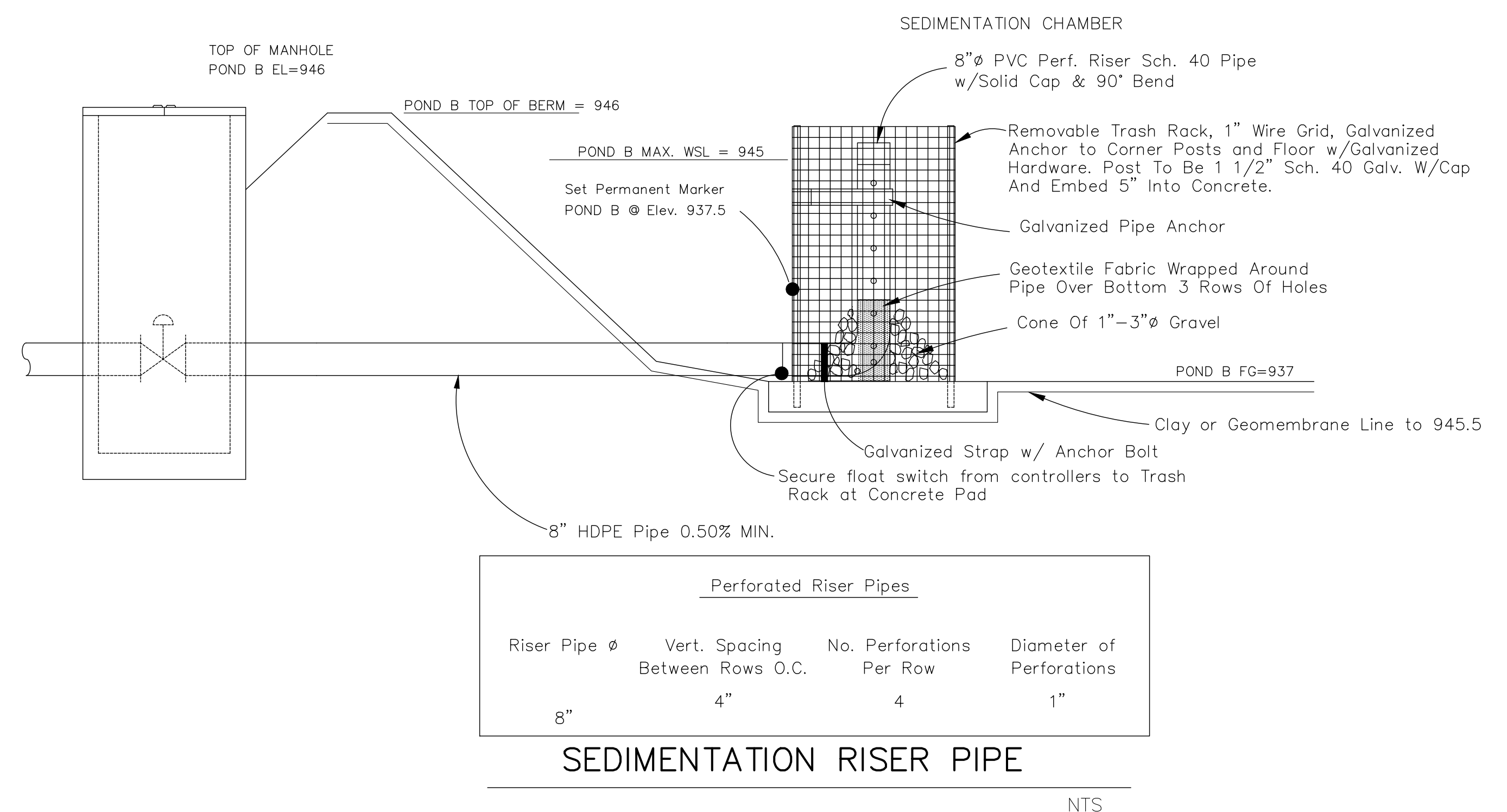
LINER DATA
IMPERMEABLE LINERS MAY BE CLAY, CONCRETE OR GEOMEMBRANE.
CLAY LINERS SHOULD MEET THE SPECIFICATIONS AS SHOWN BELOW AND HAVE A MINIMUM THICKNESS OF 12 INCHES.

CLAY LINER SPECIFICATIONS			
CLAY LINER SPECIFICATIONS		(MIN. THICKNESS = 12")	
PROPERTY	TEST METHOD	UNIT	SPECIFICATION
PERMEABILITY	ASTM D-2434	Cm/Sec	1x10 ⁻⁶
PLASTICITY INDEX OF CLAY	ASTM D-423 & D-424	%	NOT LESS THAN 15
LIQUID LIMIT OF CLAY	ASTM D-2216	%	NOT LESS THAN 30
CLAY PARTICLES PASSING	ASTM D-422	%	NOT LESS THAN 30
CLAY COMPACTION	ASTM D-2216	%	95% OF STANDARD PROCTOR DENSITY AT OR ABOVE OPTIMUM MOISTURE CONTENT

IF A GEOMEMBRANE IS USED IT SHALL HAVE A MINIMUM THICKNESS OF (30) THIRTY MILS AND BE ULTRAVIOLET RESISTANT. CONTRACTOR TO USE A GeoCHEM LDPE 3000B GEOMEMBRANE OR APPROVED EQUAL. THE GEOTEXTILE FABRIC (FOR PROTECTION OF GEOMEMBRANE) SHOULD BE NONWOVEN GEOTEXTILE FABRIC AND MEET THE SPECIFICATIONS AS SHOWN BELOW. SUITABLE GEOTEXTILE FABRIC SHOULD BE PLACED ON THE TOP AND BOTTOM OF THE MEMBRANE FOR PUNCTURE PROTECTION AND THE LINERS COVERED WITH A MINIMUM OF 6 INCHES OF COMPACTED TOPSOIL. THE TOPSOIL SHOULD BE STABILIZED WITH APPROPRIATE VEGETATION. SEE SECTION G7 - "LOADING, HYDROSEEDING AND PERMANENT EROSION CONTROL" SPECIFICATIONS FOR TOPSOIL AND SEEDING REQUIREMENTS. REFER TO APPROVED WPA FOR ADDITIONAL INSTALLATION, QA/QC AND MAINTENANCE REQUIREMENTS.

GEOTEXTILE FABRIC DATA

GEOTEXTILE FABRIC DATA			
PROPERTY	TEST METHOD	UNIT	SPECIFICATION
MATERIAL NON-WOVEN GEOTEXTILE FABRIC			
UNIT WEIGHT		OZ./SQ. YD.	8 (MIN.)
FILTRATION WEIGHT		IN./SEC.	0.08 (MIN.)
PUNCTURE STRENGTH	ASTM D-751 (MODIFIED)	LB.	125 (MIN.)
MULLEN BURST STRENGTH	ASTM D-751	P.S.I.	400 (MIN.)
TENSILE STRENGTH	ASTM D-1682	LB.	200 (MIN.)
EQUIV. OPENING SIZE	U.S. STANDARD SIEVE	NO.	80 (MIN.)



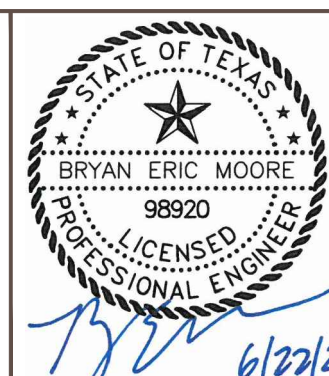
SEDIMENTATION RISER PIPE

NTS

WARNING!
There are existing water pipelines, underground telephone cables and other above and below ground utilities in the vicinity of this project. The contractor shall contact all appropriate utility companies prior to any construction in the area and determine if any conflicts exist. If so, the Contractor shall immediately contact the Engineer, who shall revise the design as necessary.

NO.	REVISION	BY	DATE

DESIGNED BY: _____ DATE: _____
DRAWN BY: _____ DATE: _____
CHECKED BY: _____ DATE: _____
APPROVED BY: _____ DATE: _____



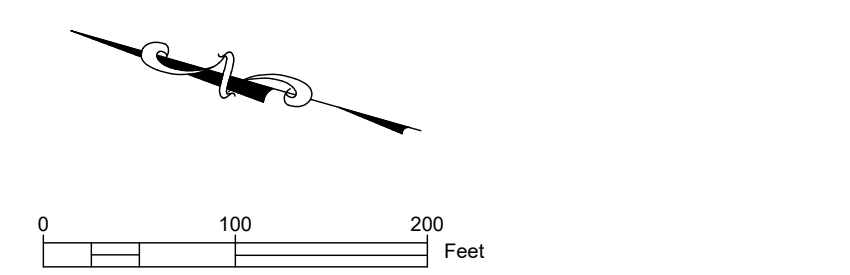
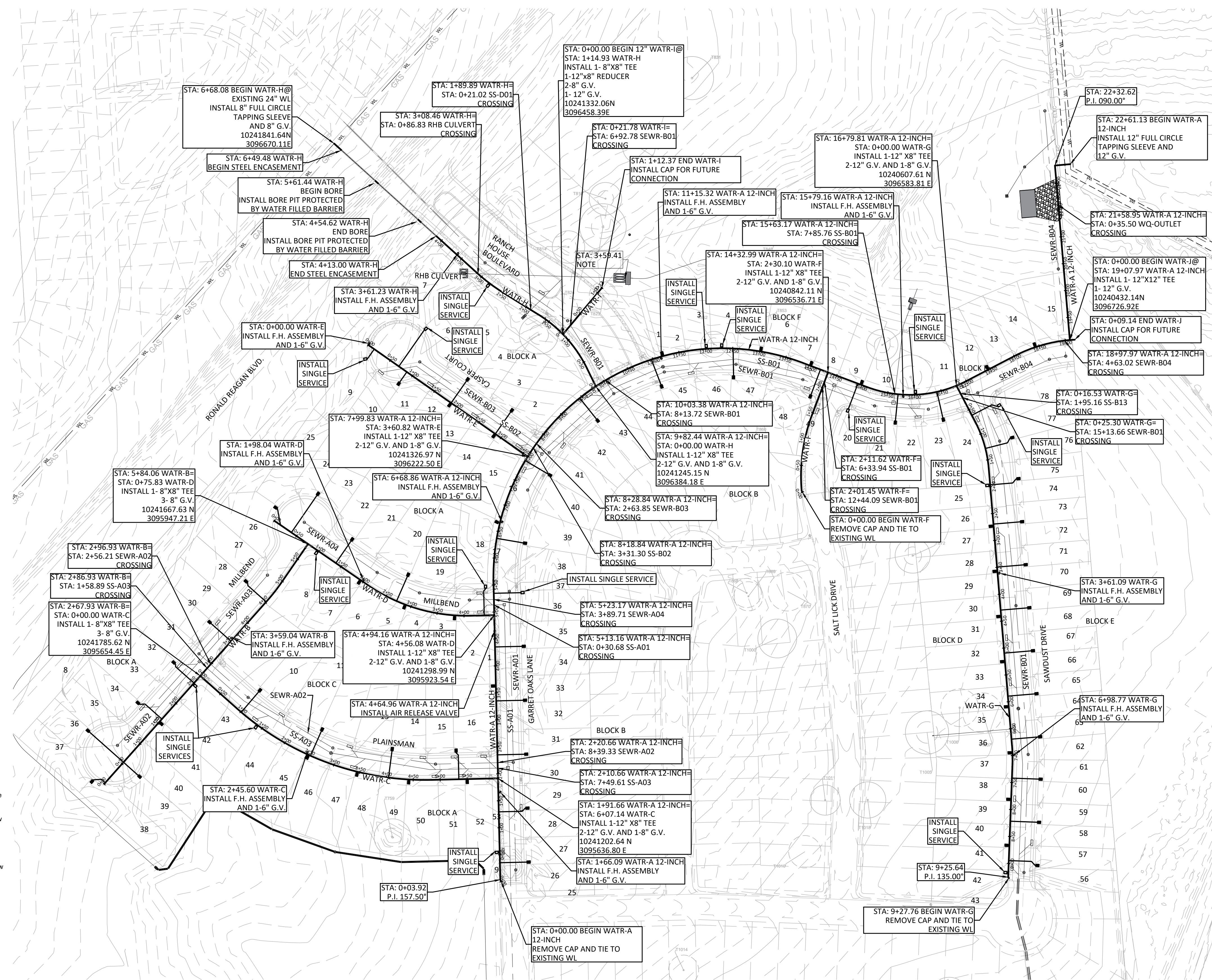
ADDRESS 1978 S. AUSTIN AVENUE GEORGETOWN, TX 78626
METRO 512.930.9412 TEXAS REGISTERED ENGINEERING FIRM F-181 WEB STEGERBIZZELL.COM
SERVICES >>ENGINEERS >>PLANNERS >>SURVEYORS

WATER QUALITY POND B DETAILS
PARMER RANCH PHASE 2, 3, & 4
City of Georgetown
Williamson County, Texas

Project Number: 22223/01
SCALE: AS NOTED
Project Path: P\22000-22999\22223
Project Name: Parmer Ranch
Drawing Path: Drawings\Plans
Xref DWG FILE:
Sheet Number: 46 of 65 sheets

BID SET NOT FOR CONSTRUCTION - ADDENDUM TWO

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- LEGEND**
- PROPOSED WATER LINE
 - EXISTING GATE VALVE
 - EXISTING FIRE HYDRANT
 - PROPOSED GATE VALVE
 - PROPOSED FIRE HYDRANT
 - CURBED INLET
 - DOUBLE WATER SERVICE
 - SINGLE WATER SERVICE
 - DOUBLE SEWER SERVICE
 - SINGLE SEWER SERVICE
 - * SEE DETAIL "W01A" FOR TYPICAL UTILITY ASSIGNMENTS

- NOTES:**
1. INDIVIDUAL PRESSURE REDUCING VALVES (PRV) REQUIRED ON ALL LOTS WHERE STATIC PRESSURE IS GREATER THAN 80 PSI.
 2. AT THE CONCLUSION OF CONSTRUCTION, FIRE HYDRANTS SHALL BE FLOW TESTED AND COLOR CODED IN ACCORDANCE TO CITY'S STANDARDS, AND RESULTS SHALL BE EMAILED TO THE FIRE DEPARTMENT. IFC 507.5 FIRE HYDRANTS SYSTEMS.
 3. CAUTION: IF PRESSURE REDUCING VALVES WERE INSTALLED IN THIS PHASING THEY MUST BE SET PRIOR TO FIRE HYDRANT FLOW TESTING.

- PIPE MATERIAL NOTES:**
2. ALL WATER LINE SHALL BE 8" C900 (150 PSI) PVC UNLESS OTHERWISE NOTED.
 3. WATER VALVES SHALL NOT BE INSTALLED IN SIDEWALKS, RAMPS OR CURBS.
 3. ALL JOINTS WHERE REQUIRED SHALL BE RESTRAINED.

- CITY OF GEORGETOWN GENERAL NOTES**
1. These construction plans were prepared, sealed, signed and dated by a Texas Licensed Professional Engineer. Therefore based on the engineer's concurrence of compliance, the construction plans for construction of the proposed project are hereby approved subject to the standard Construction Specifications and Details Manual and all other applicable City, State and Federal Requirements and Codes.
 2. This project is subject to all City Standard Specifications and Details in effect at the time of submittal of the project to the City.
 3. The site construction plans shall meet all requirements of the approved site plan.
 4. Wastewater mains and service lines shall be SDR 26 PVC.
 5. Wastewater mains shall be installed without horizontal or vertical bends.
 6. Maximum distance between wastewater manholes is 500 feet.
 7. Wastewater mains shall be low pressure air tested and mandrel tested by the contractor according to the City of Georgetown and TCEQ requirements.
 8. Wastewater manholes shall be vacuum tested and coated by the contractor according to City of Georgetown and TCEQ requirements.
 9. Wastewater mains shall be camera tested by the contractor and submitted to the City on DVD format prior to paving the streets.
 10. Private water system fire lines shall be tested by the contractor to 200 psi for 2 hours.
 11. Private water system fire lines shall be ductile iron piping from the water main to the building sprinkler system, and 200 psi C900 PVC for all others.
 12. Public water system mains shall be 150 psi C900 PVC and tested by the contractor at 150 psi for 4 hours.
 13. All bends and changes in direction on water mains shall be restrained and thrust blocked.
 14. Long fire hydrant leads shall be restrained.
 15. All water lines are to be bacteria tested by the contractor according to the City standards and specifications.
 16. Water and Sewer main crossings shall meet all requirements of the TCEQ and the City.
 17. Flexible base material for public streets shall be TXDOT Type A Grade 1.
 18. Hot mix asphaltic concrete pavement shall be Type D unless otherwise specified and shall be a minimum of 2 inches thick on public streets and roadways.
 19. All sidewalk ramps are to be installed with the public infrastructure.
 20. A maintenance bond is required to be submitted to the City prior to acceptance of the public improvements. This bond shall be established for 2 years in the amount of 10% of the cost of the public improvements and shall follow the City format.
 21. Record drawings of the public improvements shall be submitted to the City by the design engineer prior to acceptance of the project. These drawings shall be PDF (300 dpi).

Per City Ordinance Sec. 13.15.120 - Private fire hydrant maintenance.

A. All private hydrant barrels will be painted red with the bonnet painted using the hydrant flow standard in Paragraph C of this Section to indicate flow. It will be the customer's responsibility to test and maintain their private fire hydrants).

B. All private fire hydrants should be tested annually and shall be color coded to indicate the expected fire flow from the hydrant during normal operation. Such color applied to the fire hydrant by painting the bonnet the appropriate color for the expected flow condition.

C. Hydrant Flow Coding Standards. Public hydrants will have the bonnets painted silver, the hydrants will be flow tested, and the bonnet painted using the hydrant flow standard in paragraph C.

Flow will be determined at 20 Psi Residual Pressure

FLOWCOLOR
 Greater than 1500 GPM - BLUE
 1000 to 1500 GPM - GREEN
 500 to 999 GPM - ORANGE
 Less than 500 GPM - RED
 NOT WORKING - BLACK OR BAGGED

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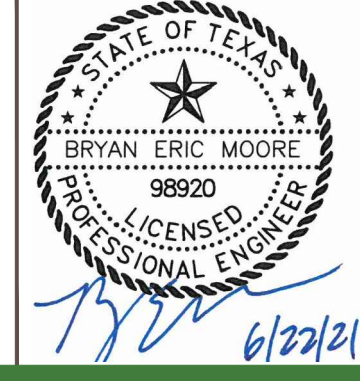
NO.	REVISION	BY	DATE

DESIGNED BY: _____ DATE: _____

DRAWN BY: _____ DATE: _____

CHECKED BY: _____ DATE: _____

APPROVED BY: _____ DATE: _____



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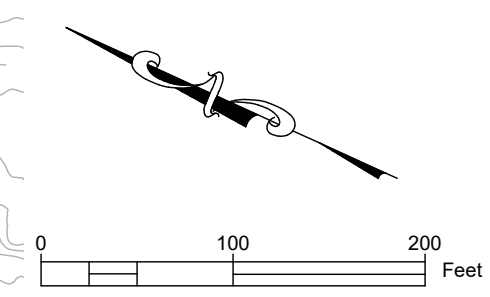
ADDRESS: 1978 S. AUSTIN AVENUE GEORGETOWN, TX 78626
 METRO: 512.930.9412 SERVICES: >>ENGINEERS >>PLANNERS >>SURVEYORS
 TEXAS REGISTERED ENGINEERING FIRM F-181 TBPLS FIRM No. 10003700 WEB: STEGERBIZZELL.COM

OVERALL WATER PLAN
PARMER RANCH PHASE 2, 3, & 4
 City of Georgetown
 Williamson County, Texas

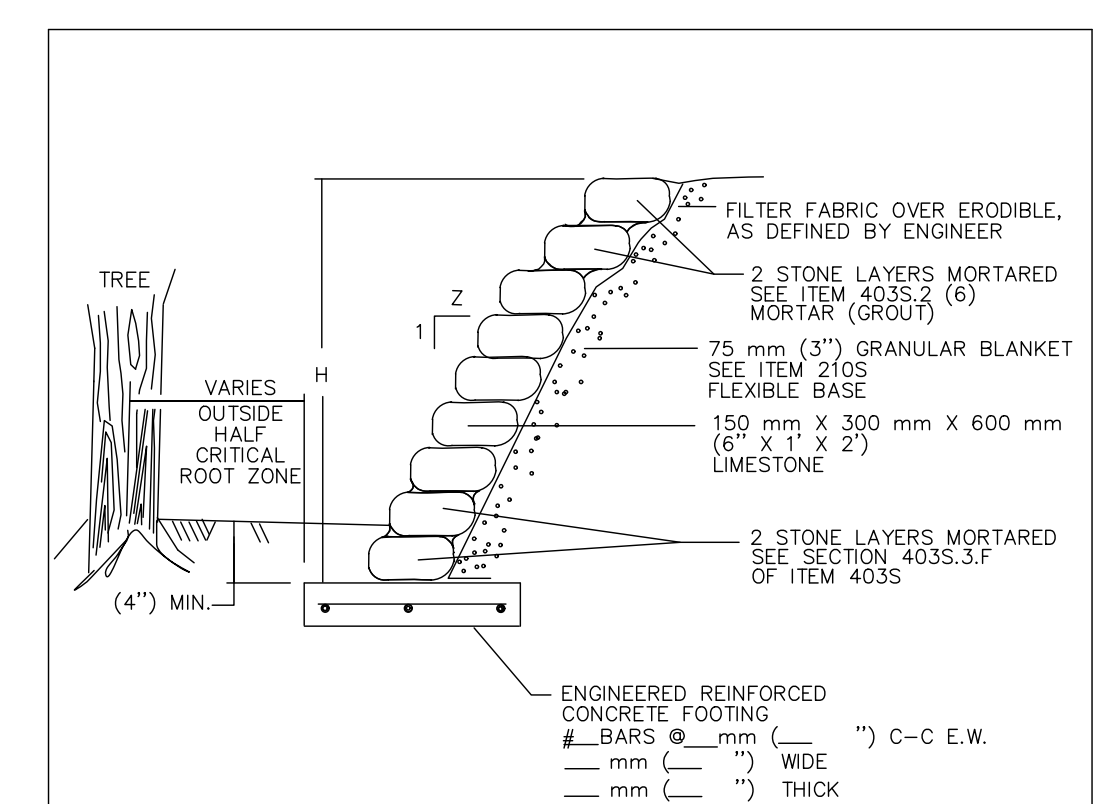
Project Number: 22223/01
 SCALE: AS NOTED
 Project Path: P:\22000-22999\22223
 Project Name: Parmer Ranch
 Drawing Path: Drawings\Plans
 Xref DWG FILE:
 Sheet Number: 50 of 65 sheets

BID SET NOT FOR CONSTRUCTION - ADDENDUM TWO

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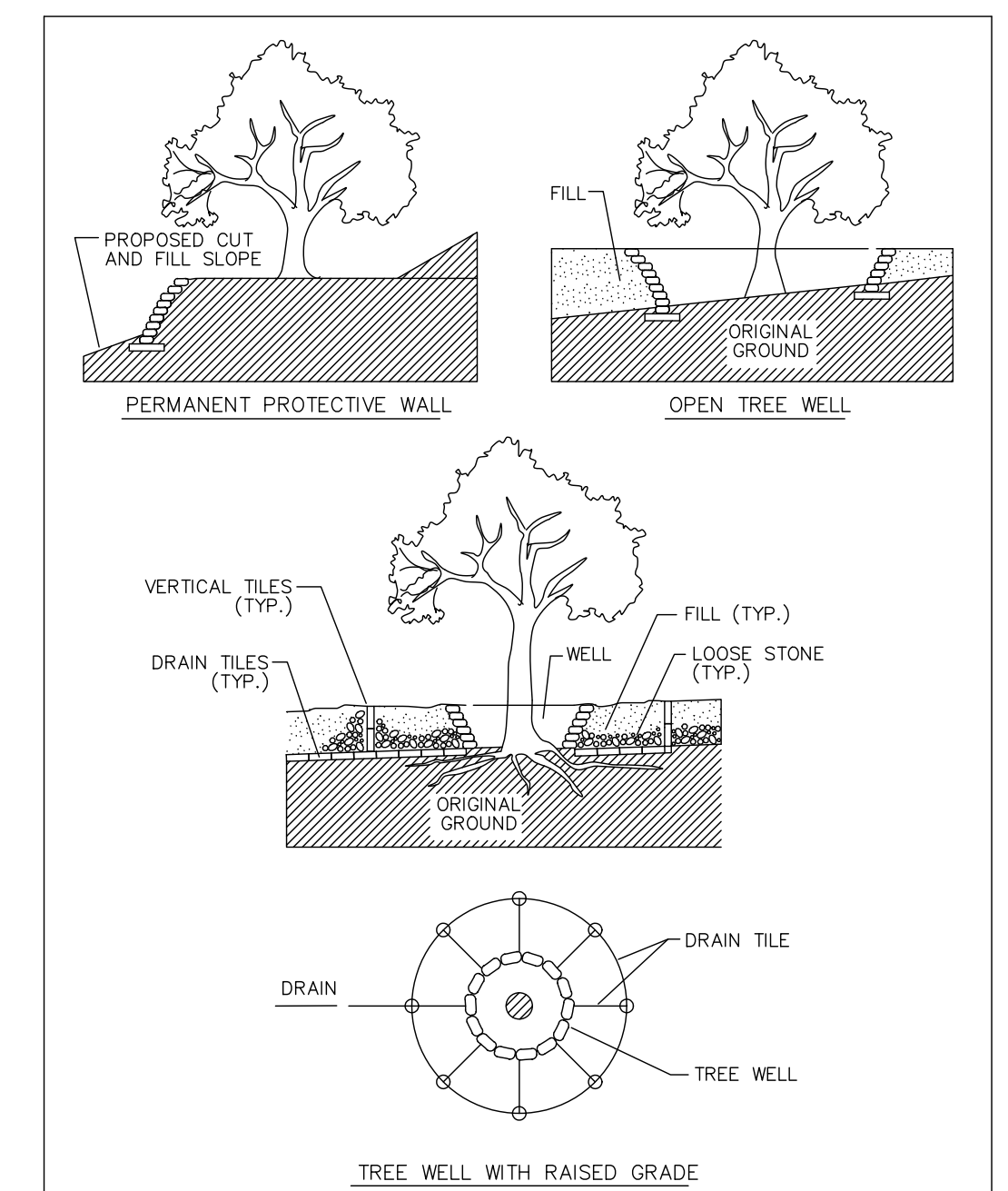
NOTE:
 1. Tree wells shall be installed no closer than a tree's 1/2 Critical Root Zone (per UDC section 8.02.030.C) and shall include the full critical root zone when possible, and no disturbance shall occur within the 1/2 Critical Root Zone or tree will be considered removed and mitigation will be required (per UDC section 8.02.040.C).



THIS STANDARD APPLIES ONLY UNDER THE FOLLOWING CONDITIONS:
 A. H AND Z ARE SPECIFIED ON THE DRAWING.
 B. GROUNDWATER IS NO HIGHER THAN THE BOTTOM OF THE FOOTING.
 C. THE MATERIAL BELOW THE FOOTING IS FIRM AND STABLE.
 D. THE MATERIAL BEHIND THE WALL HAS A LEVEL SURFACE.
 E. THE MATERIAL IN FRONT OF THE WALL HAS A SLOPE NO STEEPER THAN 4 HORIZONTAL TO 1 VERTICAL.
 F. THE FACE OF THE WALL IS NO STEEPER THAN 1 HORIZONTAL TO 2 VERTICAL.
 G. SURCHARGE LOADS BEHIND THE WALL ARE NO CLOSER THAN DISTANCE H FROM THE TOP OF WALL.

NOTES:
 1. DESIGN AND CONSTRUCTION OF ROCK WALL SHALL CONFORM TO THE REQUIREMENTS OF CITY CODE 16-7-2. PLACEMENT OF FENCES IN STREET CORNER AREAS, AND THE CITY OF AUSTIN TRANSPORTATION CRITERIA MANUAL FOR MINIMUM SIGHT DISTANCE.
 2. CONCRETE SHALL CONFORM TO ITEM 403S, "CONCRETE FOR STRUCTURES".

DEPARTMENT OF WATERSHED PROTECTION AND DEVELOPMENT REVIEW	SLOPE PROTECTION AND TREE WELLS	STANDARD NO.
RECORD COPY SIGNED BY J. PATRICK MURPHY	03/13/06 ADOPTED	610S-6
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.		1 OF 2

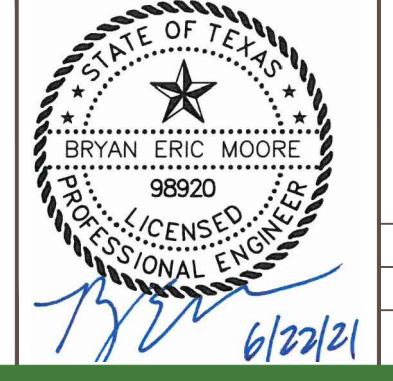


DEPARTMENT OF WATERSHED PROTECTION AND DEVELOPMENT REVIEW	SLOPE PROTECTION AND TREE WELLS	STANDARD NO.
RECORD COPY SIGNED BY J. PATRICK MURPHY	03/13/06 ADOPTED	610S-6
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.		2 OF 2

WARNING!
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NO.	REVISION	BY	DATE

DESIGNED BY:	DATE:
DRAWN BY:	DATE:
CHECKED BY:	DATE:
APPROVED BY:	DATE:



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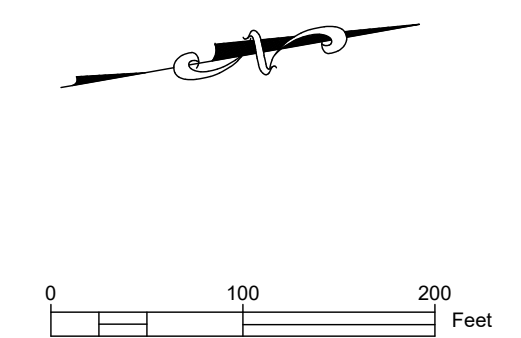
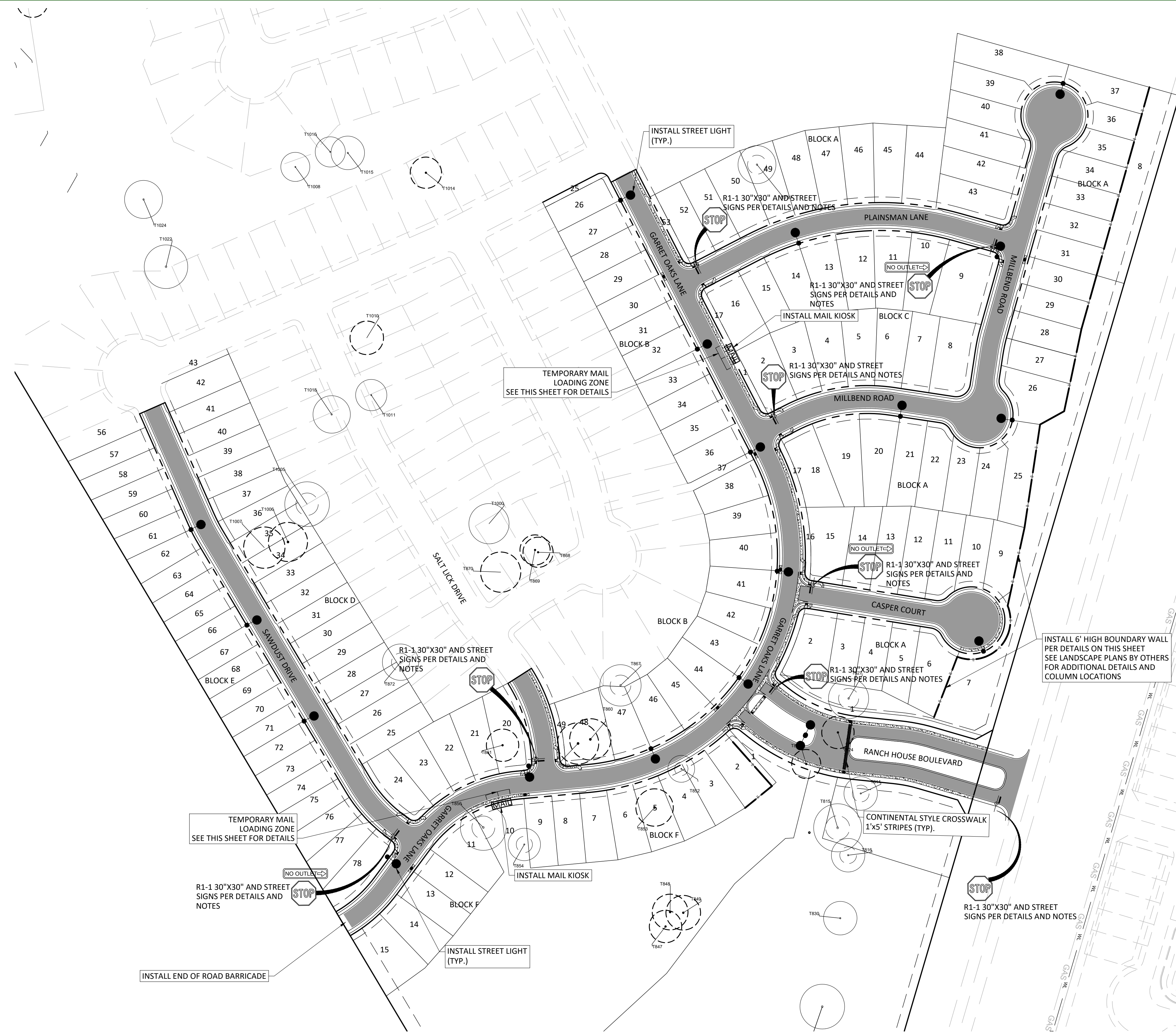
ADDRESS: 1978 S. AUSTIN AVENUE, GEORGETOWN, TX 78626
 METRO: 512.930.9412, SERVICES: >>ENGINEERS >>PLANNERS >>SURVEYORS
 TEXAS REGISTERED ENGINEERING FIRM F-161, TBPLS FIRM NO. 10003700, WEB: STEGERBIZZELL.COM

GRADING PLAN
PARMER RANCH PHASE 2, 3, & 4
 City of Georgetown
 Williamson County, Texas

Project Number:	22223/01
SCALE:	AS NOTED
Project Path:	P\22000-22999\22223
Project Name:	Parmer Ranch
Drawing Path:	Drawings\Plans
Xref DWG FILE:	
Sheet Number:	54 of 65 sheets

BID SET NOT FOR CONSTRUCTION - ADDENDUM TWO

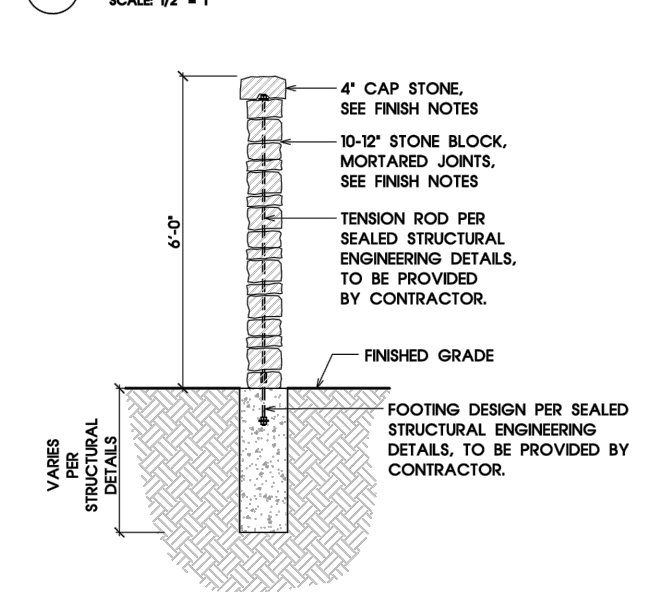
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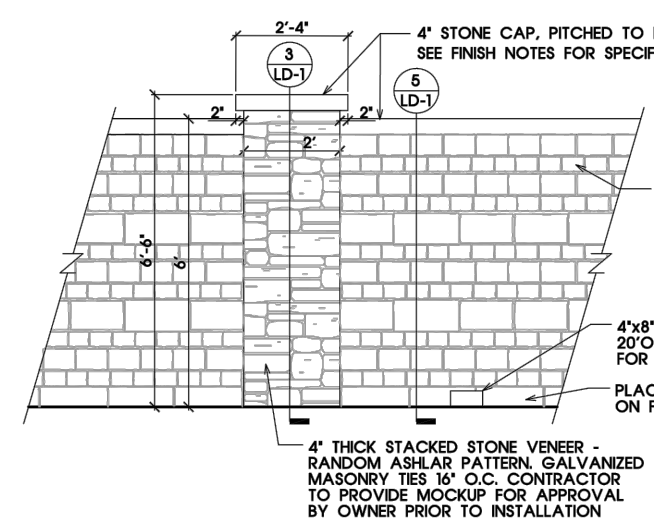
NOTES:

- STOP BARS SHALL BE INSTALLED AT ALL STOP SIGN LOCATIONS. STREET NAME SIGNS PER SD25 SHALL BE INSTALLED WITH ALL STOP SIGNS.
- ALL FIRE HYDRANTS SHALL BE IDENTIFIED BY THE INSTALLATION OF APPROVED BLUE REFLECTIVE PAVEMENT MARKERS. 2012 IFC 507.5.7 REFLECTIVE PAVEMENT MARKERS
- A SIGN SHALL BE INSTALLED AS SHOWN HEREON AND DETAILED IN THE NEXT SHEET 12-INCHES WIDE AND 18-INCHES IN HEIGHT WITH RED LETTERING ON A WHITE REFLECTIVE BACKGROUND AND BORDER IN RED STATING "FIRE LANE - TOW AWAY ZONE", ALONG WITH THE WORDS "THIS SIDE OF THE STREET". THE WORDS "FIRE LANE" BY THEMSELVES ARE NOT ACCEPTABLE. SIGN SHALL BE MOUNTED CONSPICUOUSLY ALONG THE EDGE OF THE FIRE LANE. SIGN MUST BE AT THE BEGINNING OF A STREET AND SPACED NO MORE THAN 250 FEET APART AT A MINIMUM HEIGHT OF 7 FEET ABOVE FINISHED GRADE.
- CONTRACTOR SHALL VERIFY ALL STREET NAMES AND BLOCK NUMBERS WITH OWNER PRIOR TO ORDERING SIGNS. RANCH HOUSE BLVD MAY NOT BE AN APPROVED STREET NAME

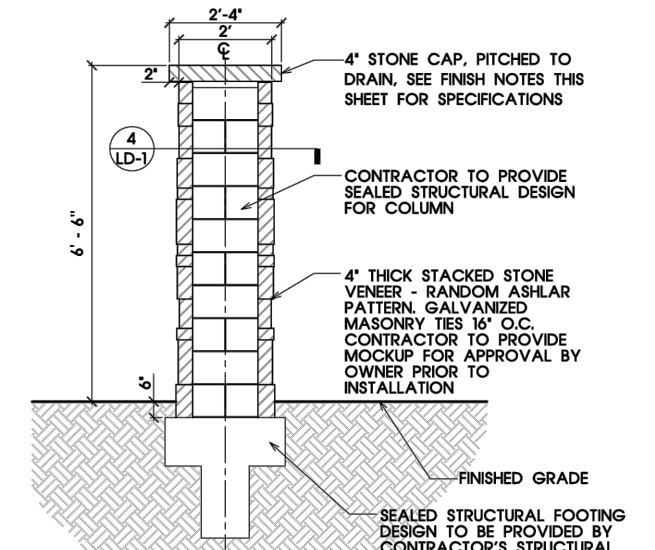
1 VIEW FENCE
SCALE 1/2" = 1'



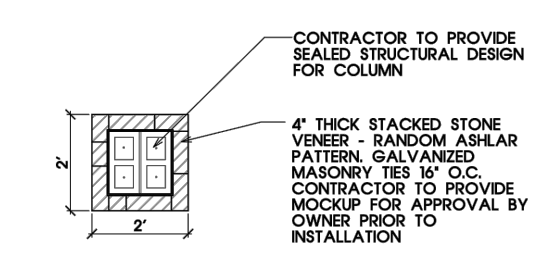
- NOTES:**
- CONTRACTOR SHALL PROVIDE 4'X4' MOCKUP OF WALL. STONE/BLOCK/VENEER FOR APPROVAL PRIOR TO CONSTRUCTION.
 - JOINT MORTAR TO MATCH LIGHTEST STONE COLOR.
 - PROVIDE WEEPS OR DRAINAGE BLOCK-OUTS, 8"X4", AT MINIMUM SPACING OF 20' O.C.
 - CONTRACTOR TO PROVIDE SHOP DRAWING FOR WALL INCLUDING STRUCTURE DETAILS, SEALED BY A LICENSED STRUCTURAL ENGINEER, PRIOR TO START.



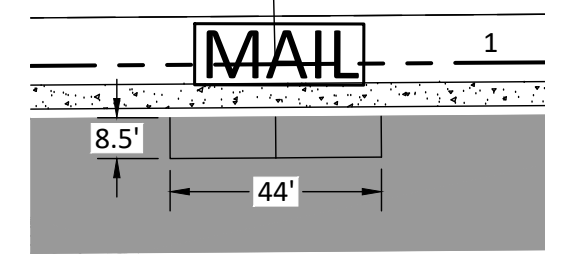
2 STONE COLUMN AND WALL ELEVATION
SCALE 1/2" = 1'



3 STONE COLUMN SECTION ELEVATION
SCALE 1/2" = 1'



4 STONE COLUMN PLAN SECTION
SCALE 1/2" = 1'



TEMPORARY MAIL LOADING ZONE DETAIL (TYP.)
SCALE: 1" = 40'

WARNING!
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NO.	REVISION	BY	DATE

DESIGNED BY: _____ DATE: _____
 DRAWN BY: _____ DATE: _____
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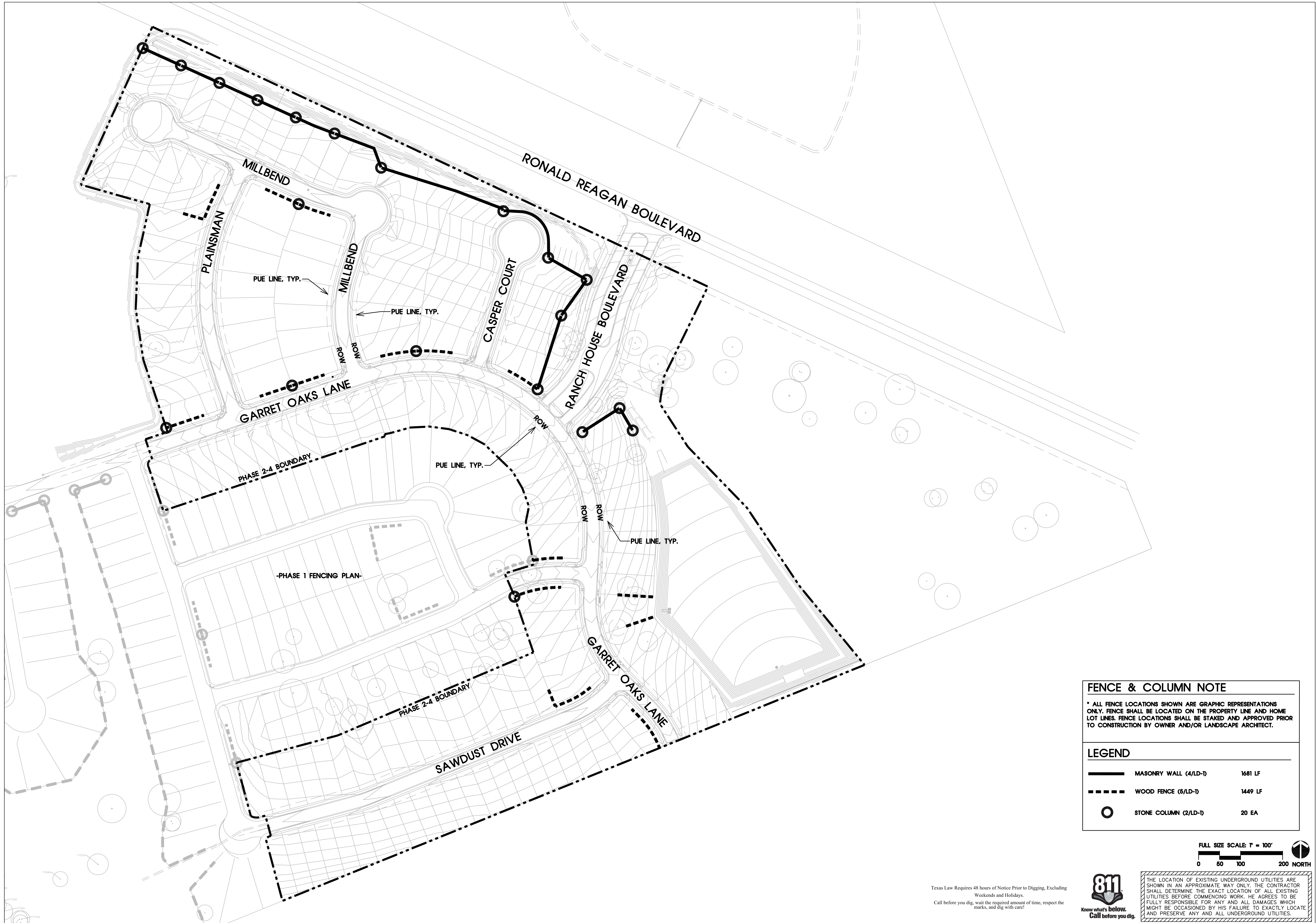
STEGER & BIZZELL

ADDRESS: 1978 S. AUSTIN AVENUE, GEORGETOWN, TX 78626
 METRO: 512.930.9412, TEXAS REGISTERED ENGINEERING FIRM F-181, WEB: STEGERBIZZELL.COM
 SERVICES: >>ENGINEERS >>PLANNERS >>SURVEYORS

STRIPING, SIGNAGE & STREET LIGHT PLAN
PARMER RANCH PHASE 2, 3, & 4
 City of Georgetown
 Williamson County, Texas

Project Number: 22223/01
 SCALE: AS NOTED
 Project Path: P:\22000-22999\22223
 Project Name: Parmer Ranch
 Drawing Path: Drawings\Plans
 Xref DWG FILE:
 Sheet Number: 56 of 65 sheets

BID SET NOT FOR CONSTRUCTION - ADDENDUM TWO



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 LANDSCAPE ARCHITECTURE
 COMMUNITY BRANDING
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 www.secplanning.com
 Email: info@secplanning.com

Parmer Ranch Partners
 13760 NOEL ROAD
 SUITE 1020
 DALLAS, TEXAS, 75240
 T: 972-866-0303



06/18/2021

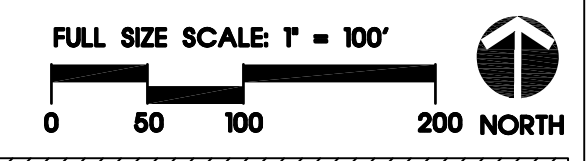
**PARMER RANCH
 PHASE 2-4
 LANDSCAPE PLAN
 GEORGETOWN, TEXAS**

FENCE & COLUMN NOTE

* ALL FENCE LOCATIONS SHOWN ARE GRAPHIC REPRESENTATIONS ONLY. FENCE SHALL BE LOCATED ON THE PROPERTY LINE AND HOME LOT LINES. FENCE LOCATIONS SHALL BE STAKED AND APPROVED PRIOR TO CONSTRUCTION BY OWNER AND/OR LANDSCAPE ARCHITECT.

LEGEND

	MASONRY WALL (4/LD-1)	1681 LF
	WOOD FENCE (6/LD-1)	1449 LF
	STONE COLUMN (2/LD-1)	20 EA



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Texas Law Requires 48 hours of Notice Prior to Digging, Excluding Weekends and Holidays.
 Call before you dig, wait the required amount of time, respect the marks, and dig with care!

Drawing File Name
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Issued:
 1. CITY SUBMITTAL SET 06/18/2021
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 5.

Revisions:
 1.
 2.
 3.
 4.
 5.
 Issue Date: 06/18/2021

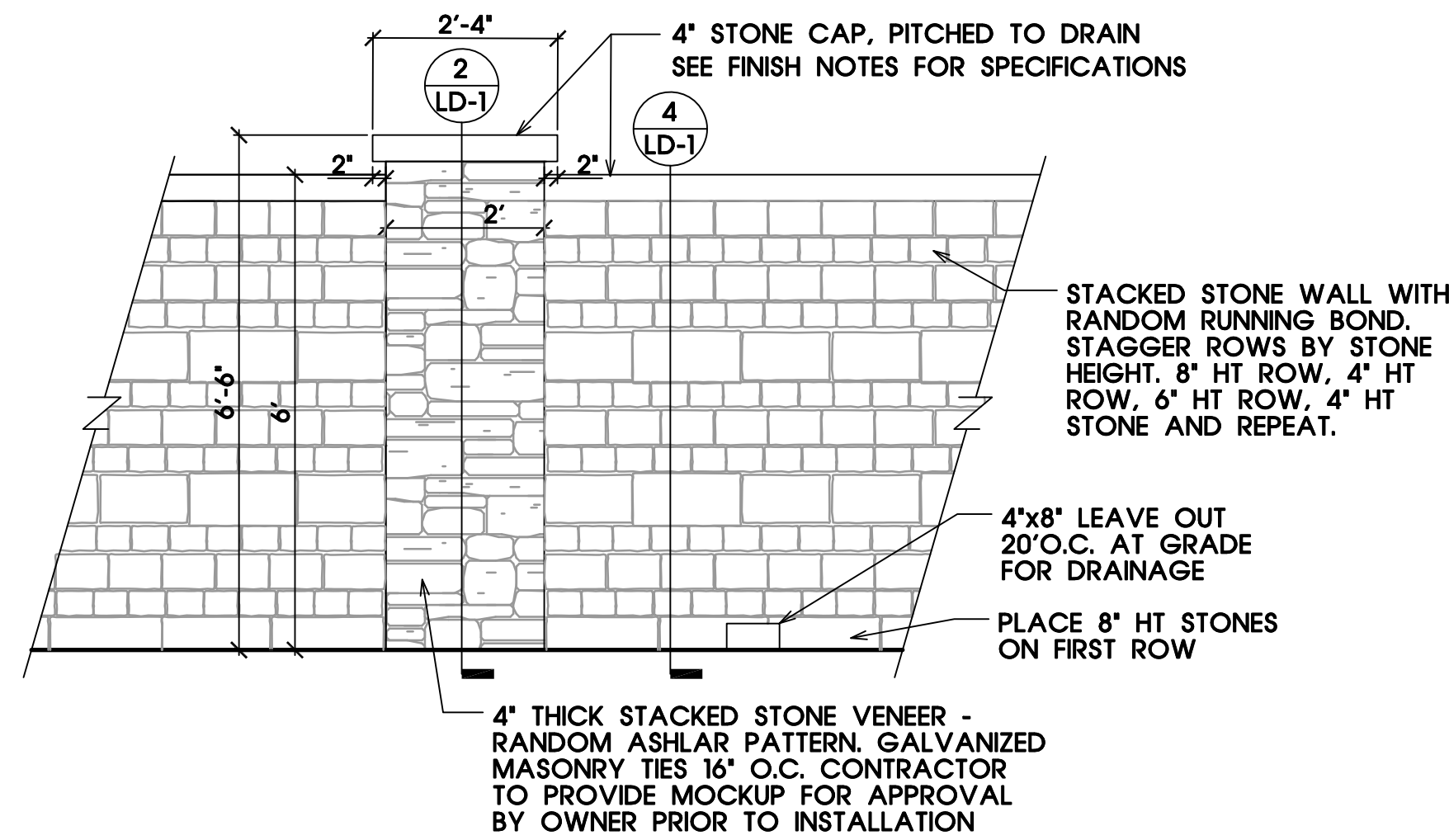
Drawn By: ND
 Reviewed By: CM

Project No.
 140092-PARP

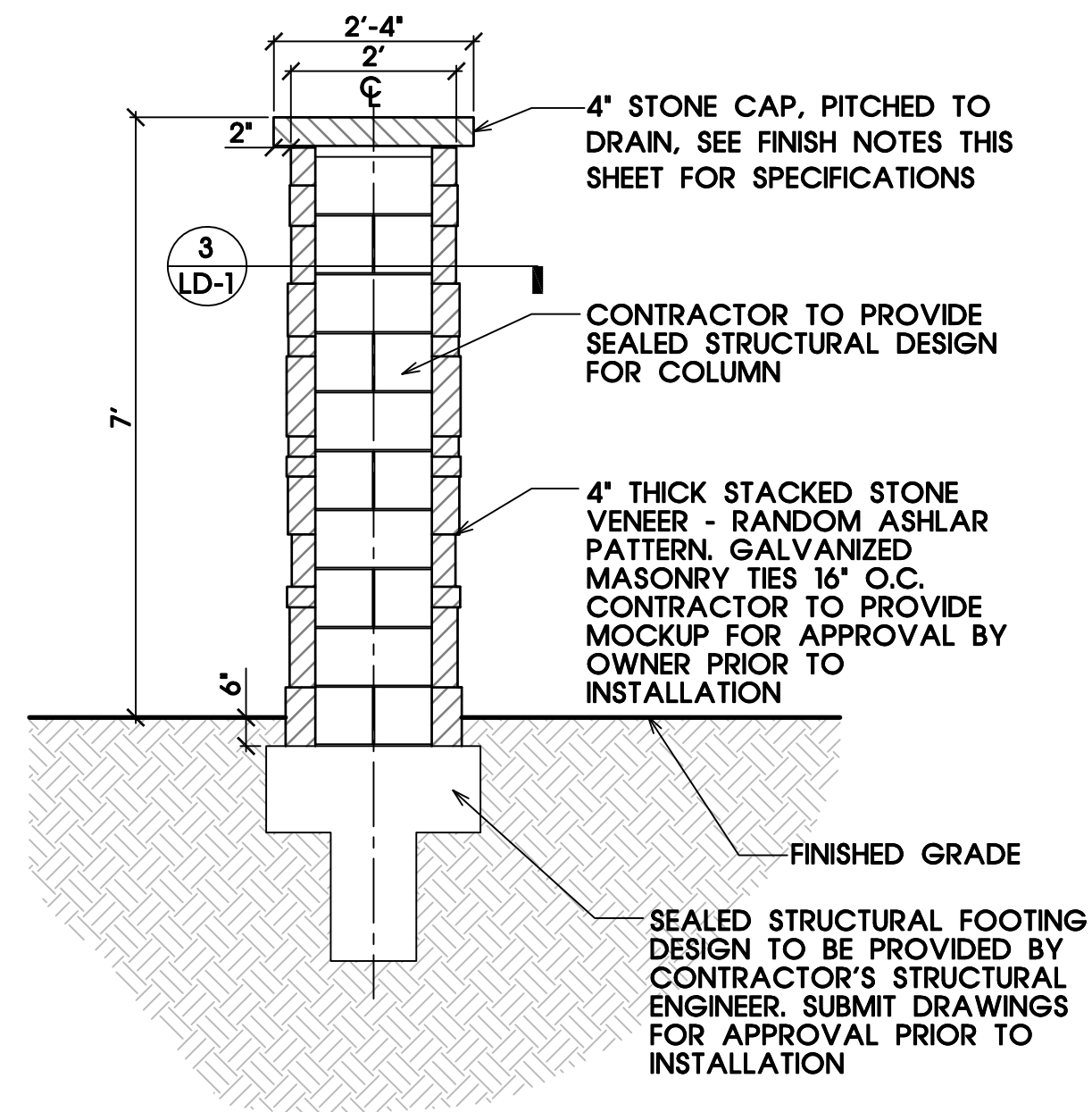
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Sheet No.
 FP-1

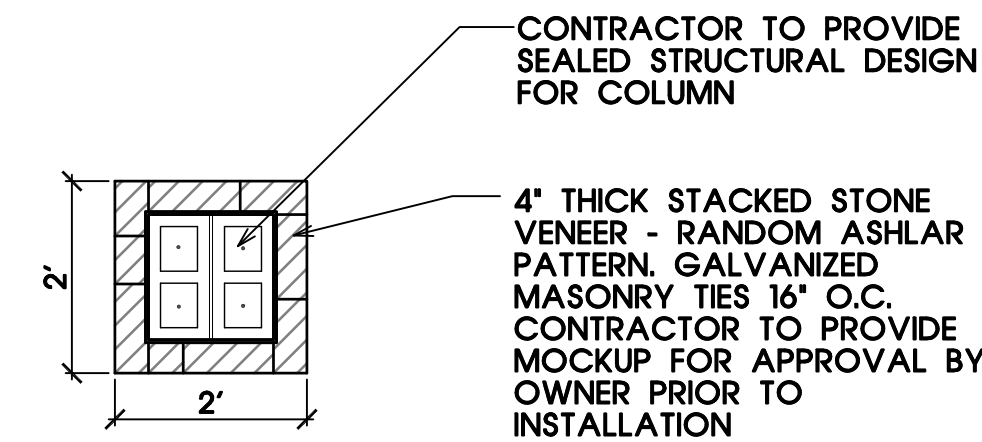
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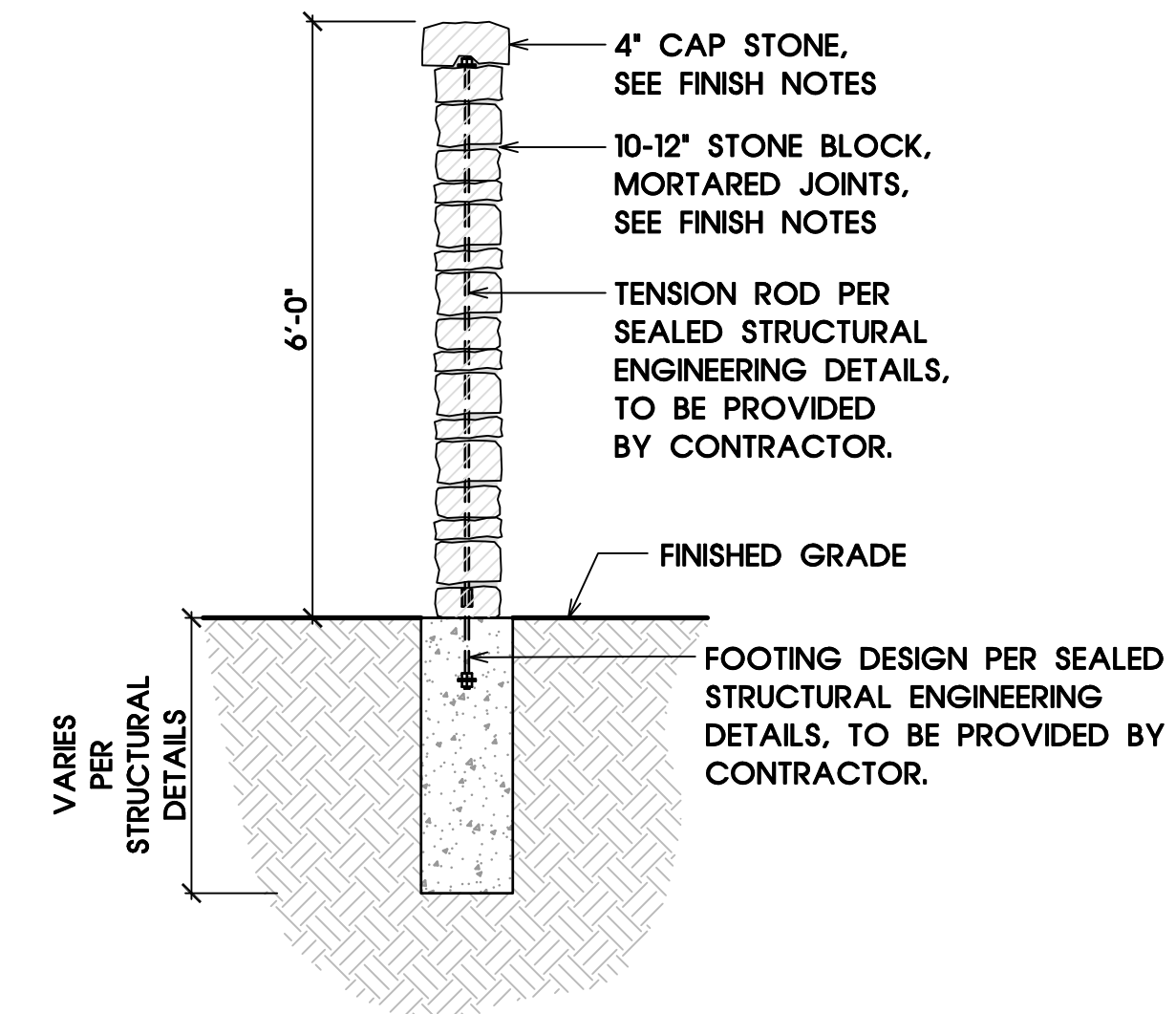
1 **STONE COLUMN AND WALL ELEVATION**
SCALE 1/2" = 1'



2 **STONE COLUMN SECTION ELEVATION**
SCALE 1/2" = 1'

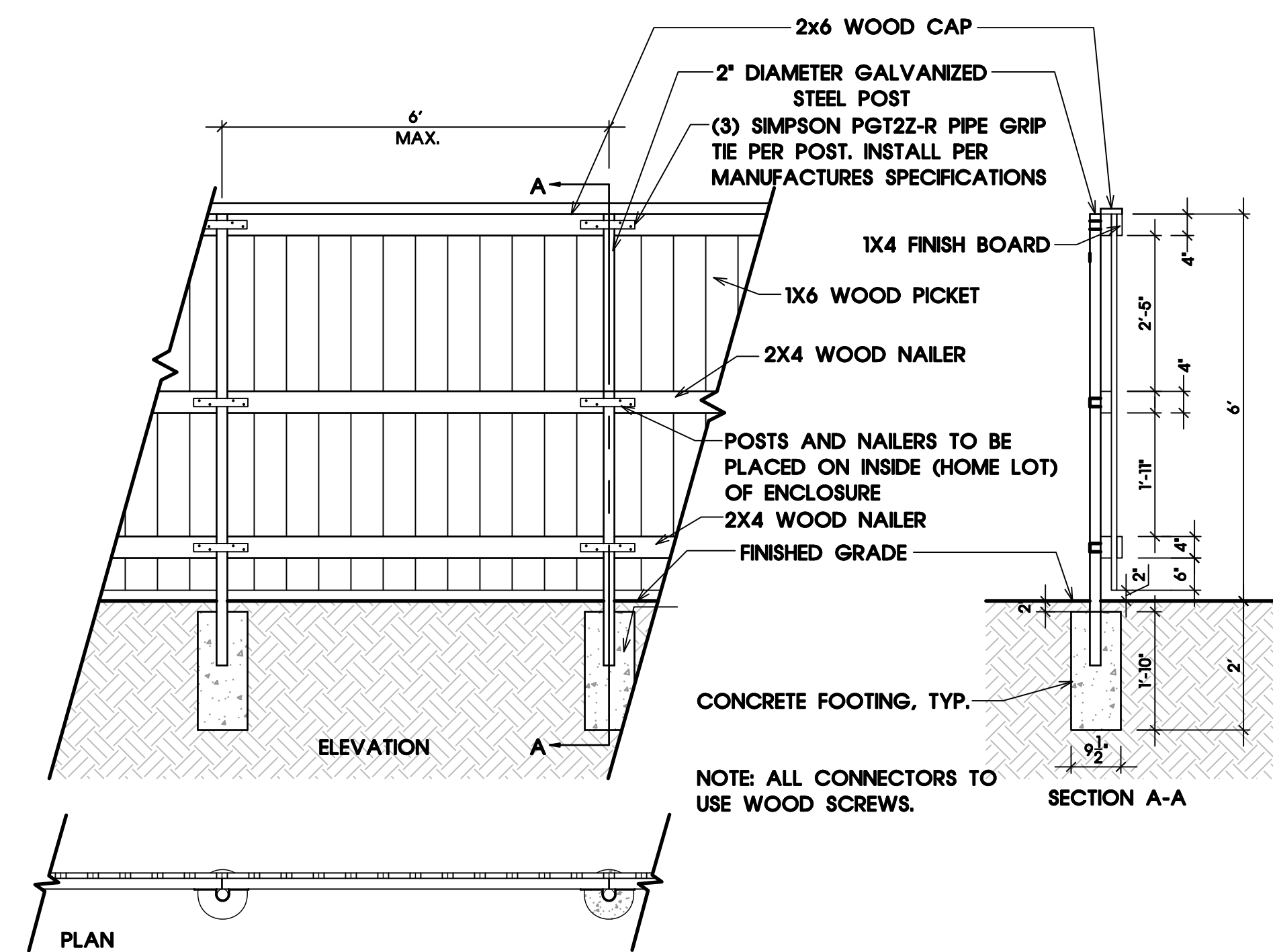


3 **STONE COLUMN PLAN SECTION**
SCALE 1/2" = 1'



- NOTES:
1. CONTRACTOR SHALL PROVIDE 4'x4' MOCKUP OF WALL STONE/BLOCK/VENEER FOR APPROVAL. PRIOR TO CONSTRUCTION.
 2. JOINT MORTAR TO MATCH LIGHTEST STONE COLOR.
 3. PROVIDE WEEPS OR DRAINAGE BLOCK-OUTS, 8"x4", AT MINIMUM SPACING OF 20' O.C.
 4. CONTRACTOR TO PROVIDE SHOP DRAWING FOR WALL INCLUDING STRUCTURE DETAILS, SEALED BY A LICENSED STRUCTURAL ENGINEER, PRIOR TO START.

4 **MASONRY WALL SECTION**
SCALE 1/2" = 1'



NOTE: ALL WOOD SHALL BE GRADE A - REDWOOD, CEDAR OR
PRESSURE TREATED, STAINED AND CAPPED. SEE FINISH NOTES

5 **WOOD FENCE**
SCALE 1/2" = 1'

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO OWNER &
LANDSCAPE ARCHITECT FOR FINAL APPROVAL FOR COLUMN,
WALL AND FOOTINGS SEALED BY STRUCTURAL ENGINEER FOR
FINAL DESIGN BASED ON SOIL CONDITIONS AND GEOTECH.

FINISH NOTES

STONE NOTES / MOCK UPS TO BE APPROVED
BY OWNER PRIOR TO CONSTRUCTION

STONE (POST TENSION WALLS)
COBRA STONE 512.746.5600
4-6-8" HT X 10-12" WIDE X RANDOM LENGTHS
TUSCANY SANDSTONE
RANDOM RUNNING BOND PATTERN
SAW CUT ALL SIDES, CHOPPED FACE.
MORTAR: TO MATCH LIGHTEST STONE COLOR

STONE VENEER (COLUMNS)
COBRA STONE 512.746.5600
4-6-8" HT TUSCANY SANDSTONE
RANDOM ASHLAR PATTERN
SAW CUT ALL SIDES, CHOPPED FACE.
MORTAR: TO MATCH LIGHTEST STONE COLOR

CAPS
4" LIMESTONE LUEDER CAP WITH 2" OVERHANG
COLOR: CREAM
SAWN TOP AND BOTTOM, ROUGH CHOPPED SIDES

WOOD FENCE
CABOT STAINS SEMI-TRANSPARENT STAIN
COLOR: CHESTNUT BROWN, OR APPROVED EQUAL

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Weekends and Holidays.
Call before you dig, wait the required amount of time, respect the
marks, and dig with care!



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SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING
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FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH
MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE
AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



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LANDSCAPE ARCHITECTURE
COMMUNITY BRANDING
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Email: info@secplanning.com

Parmer Ranch Partners

13760 NOEL ROAD
SUITE 1020
DALLAS, TEXAS, 75240
T: 972-866-0303



06/18/2021

PARMER RANCH
PHASE 2-4
LANDSCAPE PLAN
GEORGETOWN, TEXAS

Drawing File Name

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Transfer_Ph2-4
Landscape\CAD\Files\LA\Sheets\LD-1.dwg

Issued:

1. CITY SUBMITTAL SET 06/18/2021

2.

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5.

Revisions:

1.

2.

3.

4.

5.

Issue Date: 06/18/2021

Drawn By: ND

Reviewed By: CM

Project No.

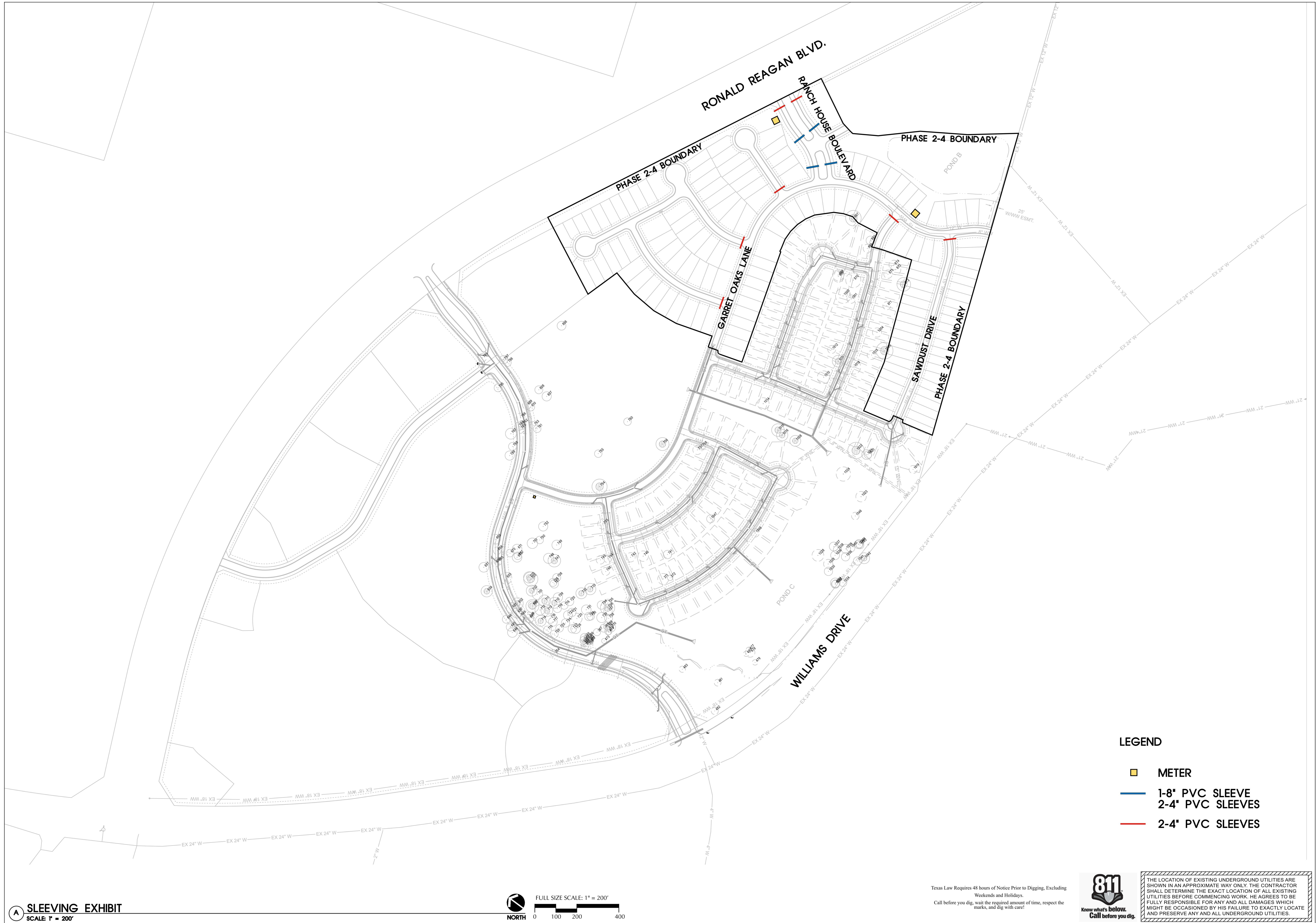
140092-PARP

HARDSCAPE DETAILS

Sheet No.

LD-1

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 SUPERVISION OF
 CYNTHIA A. MCCALMONT
 TX. PLA #3014
 06/09/2021

**PARMER RANCH
 PHASE 2-4
 LANDSCAPE PLAN
 GEORGETOWN, TEXAS**

Drawing File Name
 C:\Users\mccalmo\Documents\Desktop Things\file Transfer_Ph2-4 Landscaping\Cadfiles\LA\Sheets\Sleeving Plan.dwg

Issued:

1. BID SET	06/09/2021
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Revisions:

1.	
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Issue Date: 06/09/2021

Drawn By: ND
Reviewed By: CM

Project No. 140092-PARP

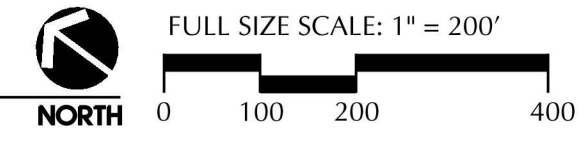
SLEEVING PLAN

Sheet No.

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- LEGEND**
- METER
 - 1-8" PVC SLEEVE
 - 2-4" PVC SLEEVES
 - 2-4" PVC SLEEVES

A SLEEVING EXHIBIT
 SCALE: 1" = 200'



Texas Law Requires 48 hours of Notice Prior to Digging, Excluding Weekends and Holidays.
 Call before you dig, wait the required amount of time, respect the marks, and dig with care!



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.